

**CONTACTS**

**PREPARED FOR:**  
Bobak Bakhtiari  
1015 47th st  
Emeryville CA 94608  
bobakcyrus@gmail.com  
415.752.7488

**SITE:**  
Vacant lots, 2nd Street, Montara, COunty of San Mateo, California

**ARCHITECT**  
ANDERSON ANDERSON ARCHITECTURE  
90 Tehama Street  
San Francisco, California 94105  
415 243-9500 tel  
415 520-9522 fax  
www.andersonanderson.com

Ziang Ao, Project Manager  
ao@andersonanderson.com  
Yafei Li, Design Team  
fly@andersonanderson.com

PETER ANDERSON, FAIA, Project Principal  
peter@andersonanderson.com  
MARK ANDERSON, FAIA, Design Principal  
mark@andersonanderson.com

**CODE CONSULTANT**

Larson Holt  
lshlarson@gmail.com

**SURVEYOR**

REUBEN JUNIUS & ROSE, LLP  
Corie A. Edwards, Partner  
Main (415) 567-9000  
Direct (415) 291-7067

**CONTRACTOR**

NAME NAME  
Address  
###.###.#### tel office  
###.###.#### tel cell

**GEOTECHNICAL & CIVIL ENG**

Charles Kissick  
sigmaprm@gmail.com  
Sigma Prime Geosciences, Inc.  
332 Princeton Avenue  
Half Moon Bay, CA 94019  
650-728-3590

**LANDSCAPE DESIGNER**

NAME NAME  
Address  
###.###.#### tel office  
###.###.#### tel cell  
website.com

**STRUCTURE- FOUNDATION**

NAME NAME  
Address  
###.###.#### tel office  
###.###.#### tel cell  
website.com

**ENERGY CONSULTANT**

NAME NAME  
Address  
###.###.#### tel office  
###.###.#### tel cell  
website.com

ZONE DISTRICT: NA

FLOOD ZONE: NA

CONSTRUCTION TYPE: VA

**BUILDING CODE**

BUILDING CODE

**CODES**

LOCAL BUILDING CODE/ EDITION CA RESIDENTIAL CODE 2019(CRC) CA BUILDING CODE 2019 (CBC)

FIRE CODE CA FIRE CODE 2019

MECHANICAL CA MECHANICAL CODE 2019 (CMC)

ELECTRICAL CA ELECTRICAL CODE 2019 (CEC)

PLUMBING CA PLUMBING CODE 2019 (CPC)

ENERGY CA ENERGY CODE 2019

CA GREEN BUILDING STANDARDS CODE (CALGREEN)

STATE REQUIREMENTS  
A. STATE PUBLIC HEALTH REGULATIONS  
B. STATE OCCUPATIONAL SAFETY AND HEALTH LAW  
C. ACT 308/93, SECTION 103-50, HRS, RELATING TO PERSONS WITH DISABILITIES. EFFECTIVE JANUARY, 1994. (USE LATEST EDITION OF THE AMERICANS WITH DISABILITIES ACT (ADA) ACCESSIBILITY GUIDELINES.  
D. CHILDREN'S DESIGN GUIDELINES: SPECIFICATIONS CONTAIN MODIFICATIONS AND/OR ADDITIONS TO THOSE SECTION OF THE ADA ARCHITECTURAL GUIDELINES. THESE SPECIFICATIONS HAVE BEEN DEVELOPED FOR USE IN ACHIEVING ACCESSIBILITY FOR CHILDREN WITH DISABILITIES.  
E. DEPARTMENT OF HEALTH: CHAPTER 62, WASTEWATER SYSTEMS, EFFECTIVE DECEMBER 1988, AS AMENDED.  
F. STATE OF CALIFORNIA MODEL ENERGY CODE  
G. STATE DEPARTMENT OF HUMAN SERVICES, LICENSING GUIDELINES.

LOCAL JURISDICTION  
FIRST RESTATED DECLARATION OF CONDITIONS, COVENANTS, AND RESTRICTIONS OF NAVARRO RANCH DECLARATIONS OF COVENANTS, CONDITIONS AND RESTRICTIONS (Modified February 9, 1992)

**CODE SUMMARY**

OCCUPANCY GROUP R-3  
FIRE CONTROL SPRINKLERED, FIRE CONTROL PLAN, DEFERRED SUBMITTAL

**PROJECT INFORMATION**

PROJECT SITE VACANT LOTS, 2ND STREET MONTARA, COUTY OF SAN MATEO, CALIFORNIA

PARCEL NUMBER 036-014-200  
036-014-210  
PARCEL SIZE 10,000 SQFT

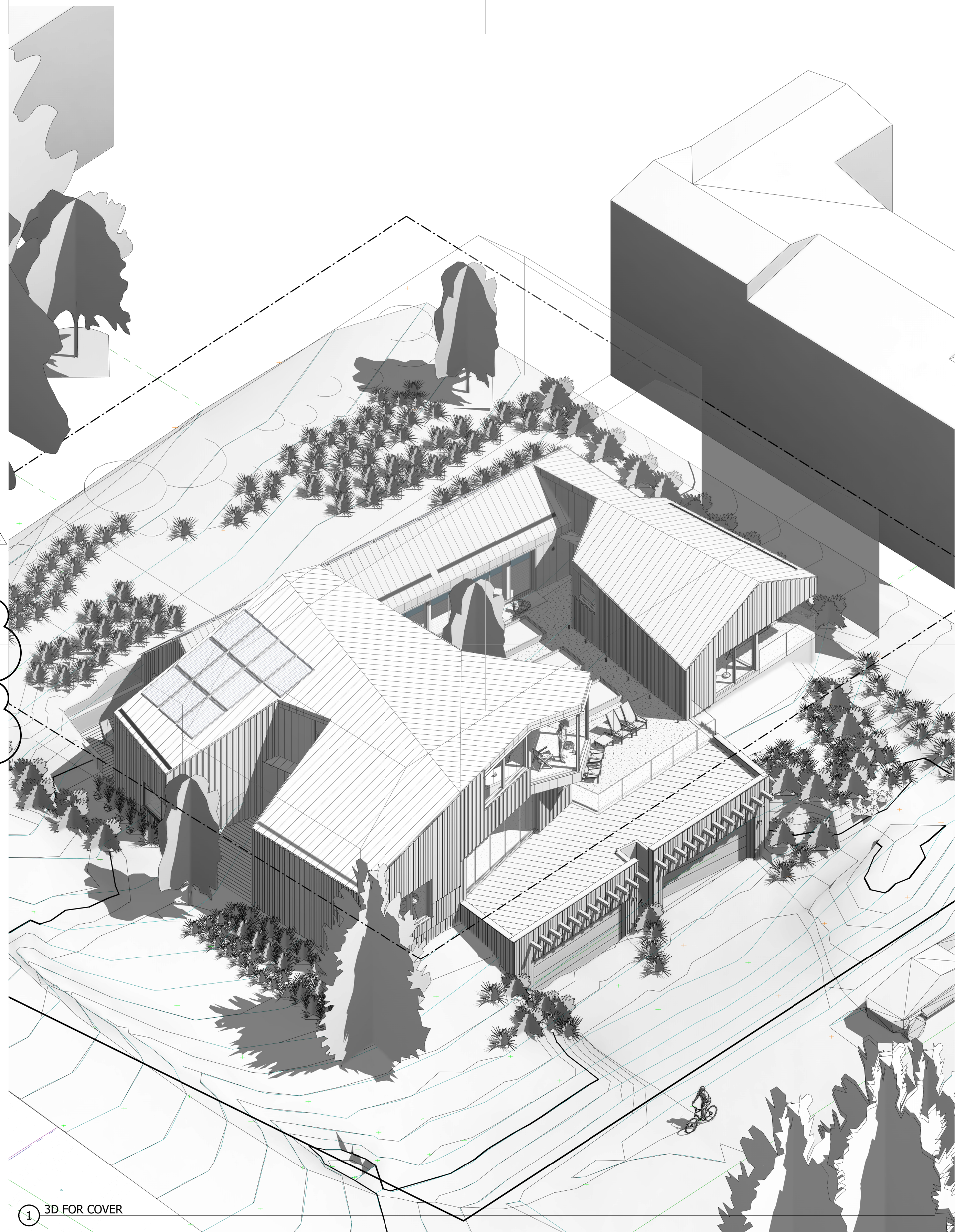
ZONING R-1/S-1/DR/CD

OWNER Rustic Enterprises / Bobak Bakhtiari

TYPE OF CONSTRUCTION TBD

TYPE OF CONSTRUCTION MATERIAL TBD

	EXISTING	PROPOSED	MAXIMUM ALLOWED
LOT COVERAGE AREA	0 SQFT	3453.8 SQFT	3500 SQFT
LOT COVERAGE %	0%	34.54%	35%
FLOOR AREA	0 SQFT	4920.5 SQFT	5300 SQFT
F.A.R	0	0.49	0.53



1 3D FOR COVER

**Bobak Bakhtiari Residence**

PROJECT:  
**Bobak Bakhtiari residence (v4.1)**  
AAA PROJECT CODE:21BOB

Vacant lots, 2nd Street, Montara, COunty of San Mateo, California



ANDERSON ANDERSON ARCHITECTURE

90 TEHAMA STREET  
SAN FRANCISCO, CALIFORNIA 94105

T 415.243.9500  
F 415.520.9522

**PRELIMINARY**  
NOT FOR CONSTRUCTION

DATE: 12/13/23  
PHASE: PLANNING DR  
PREPARED BY: AO

#	REVISION ISSUE	DATE
1	2nd submittal planning review	07/14/2023
3	4TH submittal planning DR	11/13/2023

TOTAL SF:  
KEY PLAN:

COVER SHEET

A 0.0

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## GENERAL PROJECT NOTES

1. Notify architect promptly if any conditions conflict with the construction documents.
2. Field Verify all existing conditions and dimensions prior to fabrication/ construction.
3. Notify architect of any discrepancies between documents, including discrepancies between engineering documents and construction documents.
4. Provisions shall be made for the undergrounding of all utilities serving the property, including but not limited to electrical, telephone, and cable television, by the installation of appropriately sized underground conduits extending from the street property, as per BBC 705A.1.
5. All persons working at this site must implement applicable portions of the State Storm Water Best Management Practices Manual for Construction to the maximum extent practicable to prevent erosion and sediment from entering into the storm drain system. Failure to utilize adequate controls is a violation of BMC 17.20. A copy of the manual is available upon request at the Permit Service Center and available online at [www.cabmphandbooks.com](http://www.cabmphandbooks.com).
6. Approval of this permit for work in the public right-of-way or easement does not relieve the applicant of the responsibility of obtaining permission to enter neighboring property or properties in the course of this work if necessary. It shall not be construed as a license to alter or adversely impact any facilities located in these easements which are privately owned. Full restitution and restoration shall be the responsibility of the permittee. Permittee shall notify property owner of intentions 72 hrs prior to entering the property.

## GENERAL FINISH NOTES

1. CONTRACTOR SHALL EXAMINE ALL SURFACE TO BE FINISHED AND VERIFY THEY ARE REASONABLY ACCEPTABLE TO RECEIVE SPECIFIED FINISHES.
2. SURFACE DEFECTS OF DEFICENCES WHICH MAY ADVERSELY AFFECT WORK SHALL BE CORRECTED OR BROUGHT TO THE ATTENTION OF THE GENERAL CONTRACTOR FOR CORRECTION PRIOR TO COMMENCING OF WORK.
3. ALL SURFACES SHALL BE PREPARED AND PRIMED ACCORDING TO MANUFACTURER'S DIRECTIONS AND RECOMMENDATIONS.
4. CONTRACTOR IS TO NOTIFY ARCHITECT OF ANY DISCREPANCIES OR CONFLICTS REGARDING CONDITIONS OR LOCATIONS FOR APPLICATION OF MATERIALS PRIOR TO OR DURING CONSTRUCTION / INSTALLATION OR TRADE RESPONSIBILITY FOR CORRECTING SUCH WORK AS DIRECTED BY THE ARCHITECT.
5. THE CONTRACTOR SHALL EXAMINE ALL AREAS OF CONSTRUCTION AFTER COMPLETION OF WORK BY ALL TRADES AND APPROVE ALL NECESSARY TOUCH-UP PAINTING OR PATCHING.

## GENERAL DOOR & FRAME NOTES

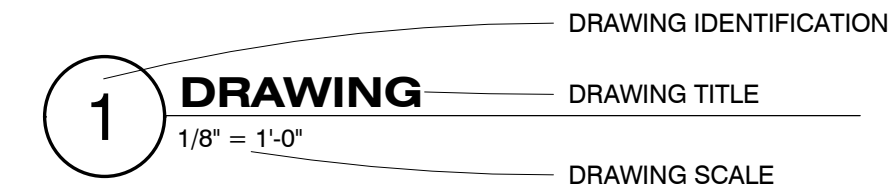
1. GENERAL CONTRACTOR AND DOOR SUPPLIER SHALL FIELD VERIFY ALL SIZES, DIMENSIONS, SWINGS, INTERFERENCES, EGRESS, AND SAFETY GLAZING REQUIREMENTS PRIOR TO ORDERING.
2. --
3. --

## ABBREVIATIONS

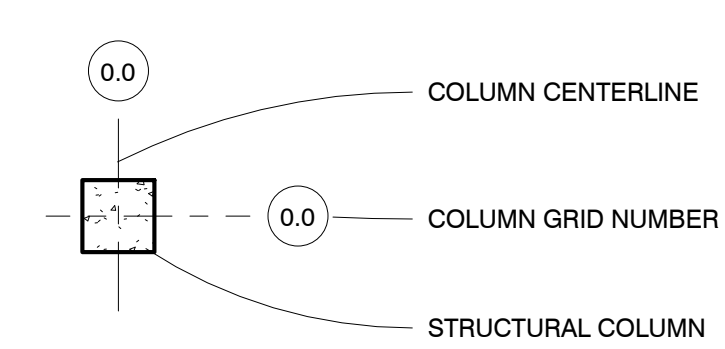
@	at	JAN	Janitor	T&G	Tongue and Groove
AAA	Anderson Anderson Architecture	JT	Joint	T	Tread, Thermostat
AV	Audio Visual	KIT	Kitchen/Kitchenette	TI	Tenant Improvement(s)
ABV	Above	KO	Knockout	TAN	Tangent
ACT	Acoustical Ceiling Tile	LAV	Lavatory	TBD	To Be Determined
ADD	Addendum	LH	Left Hand	TEL	Telephone
ADA	Americans with Disabilities Act	MANF	Manufacture(r)	TEMP	Temperature/Temporary
ADJ	Adjacent, Adjustable	MATL	Material(s)	THK	Thick(ness)
AFF	Above Finished Floor	MAX	Maximum	THRU	Through
ALT	Alternate	MECH	Mechanical	TOB	Top of Beam
ALUM	Aluminum	MED	Medium	TOC	Top of Curb/Coping/Concrete
APPROX	Approximate	MEMBR	Membrane	TOF	Top of Floor
ARCH	Architect(ural)	MEZZ	Mezzanine	TOFOW	Top of Foundation Wall
BLDG	Building	MTL	Metal	TOP	Top of Parapet
BLKG	Blocking	MIN	Minimum	TOS	Top of Steel
BOS	Bottom of Steel	MIR	Mirror(ed)	TOW	Top of Wall
BOT	Bottom	MISC	Miscellaneous	TYP	Typical
BRG	Bearing	MO	Masonry Opening	UNFIN	Unfinished
		MTD	Mounted	UNO	Unless Noted Otherwise
		MULL	Mullion		
CAB	Cabinet			V	Vinyl
CG	Corner Guard	N	North	VB	Vinyl Base
CJ	Control/Construction Joint	NE	Northeast	VCT	Vinyl Composition Tile
CL	Centerline	NIC	Not in Contract	VERT	Vertical
CEIL	Ceiling	NO,#	Number	VEST	Vestibule
CLR	Clear/Clearance	NOM	Nominal	VIF	Verify in Field
CMU	Concrete Masonry Unit	NTS	Not to Scale	VNR	Veneer
COL	Column	NW	Northwest	VP	Veneer Plaster
CONC	Concrete			VT	Vinyl Tile
CONST	Construction			VWC	Vinyl Wall Covering
CONT	Continuous	OC	On Center(s)		
COORD	Coordinate/Coordination	OD	Outside Diameter	W/	With
CPT	Carpet	OF/CI	Owner Furnished/ Contractor Installed	W/O	Without
CSWK	Casework	OF/OI	Owner Furnished/ Owner Installed	W	West
CP	Centerpoint	OFRD	Overflow Roof Drain	WC	Water Closet
CT	Ceramic Tile	OFS	Overflow Scupper	WD	Wood
		OH	Overhead	WDW	Window
DEMO	Demolition	OPNG	Opening	WH	Wall Hung
DF	Drinking Fountain	OPP	Opposite	WFF	Welded Wire Fabric
DIA	Diameter				
DIAG	Diagonal	PERM	Permanent		
DIM	Dimension	PERP	Perpendicular		
DISP	Dispenser	PL	Plate		
DN	Down	PLAM	Plastic Laminate		
DR	Door	PLYWD	Plywood		
DTL	Detail	PNL	Panel		
DWG(S)	Drawing/Drawings	PR	Pair		
		PRFAB	Prefabricate(d)		
E	East	PREFIN	Prefinish(ed)		
EXIST	Existing	PRKG	Parking		
EIFS	Exterior Insulation & Finish System	PROP	Property		
EL	Elevation	PT	Paint(ed)		
ELEC	Electric/Electrical	PTN	Partition(ed)		
ELEV	Elevator				
EPDM	Elastomeric Membrane				
EQ	Equal	QT	Quarry Tile		
EQUIP	Equipment	QTY	Quantity		
EXP	Exposed/Expansion				
EJ	Expansion Joint	R	Riser		
EXT	Exterior	RAD(R)	Radius(ed)		
		RB	Rubber		
FAST	Fasten/Fastener	RCP	Reflected Ceiling Plan		
FD	Floor Drain	RD	Roof Drain		
FE	Fire Extinguisher	REC	Recessed		
FEC	Fire Extinguisher Cabinet	RECPT	Receptical		
FF	Finish Floor	REF	Reference/Refrigerator		
FIN	Finish	REINF	Reinforce(d), (ing)		
FIXT	Fixture	REQD	Required		
FL/FLR	Floor	REV	Reverse		
FOS	Face of Stud	RH	Right Hand		
FR	Frame(s), (ing)	RM	Room		
FRP	Fiber Reinforced Polyester	RO	Rough Opening		
FTG	Footing	RT	Resilient Tile		
FUR	Furr(ed), (ing)	RV	Roof Vent		
		S	South		
		SC	Solid Core, Sealed Concrete		
		SCH	Schedule		
		SE	Southeast		
		SECT	Section		
		SHT	Sheet		
		SHTG	Sheathing		
		SIM	Similar		
		SPEC(S)	Specification(s)		
		SPKLR	Sprinkler		
		SQ	Square		
		SS	Stainless Steel		
		STD	Standard		
		STL	Steel		
		STOR	Storage		
		STRUCT	Structural		
		SURF	Surface		
		SUSP	Suspend(ed)		
		SW	Southwest		
		SYS	System(s)		
ID	Inside Diameter				
INCL	Include(ed), (ing)				
INSUL	Insulation				
INT	Interior				
INV	Invert				

## DRAWING ANNOTATIONS

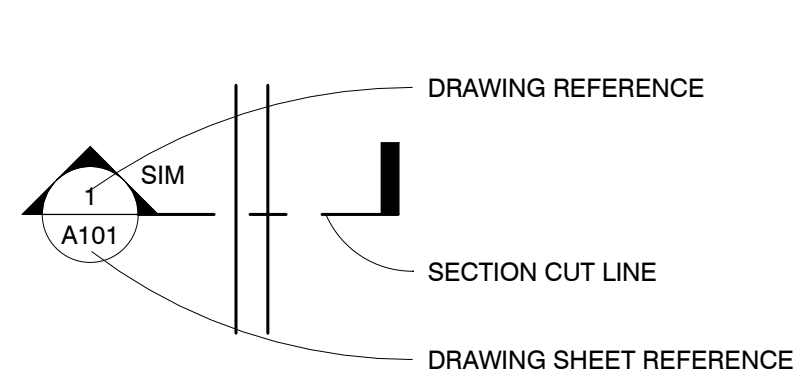
### DRAWING TITLEBAR



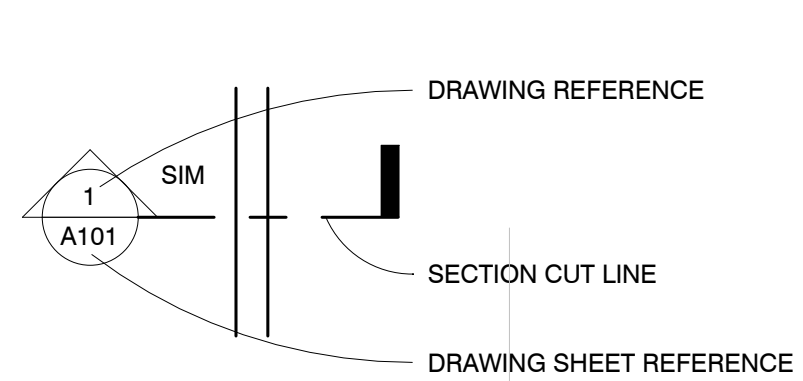
### COLUMN GRIDLINES



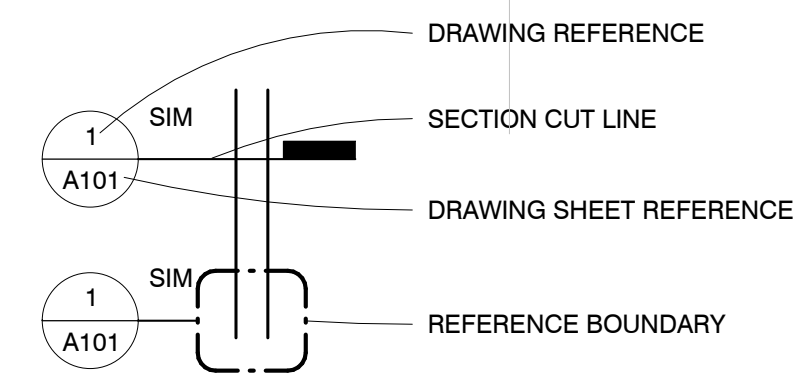
### BUILDING SECTION REFERENCE



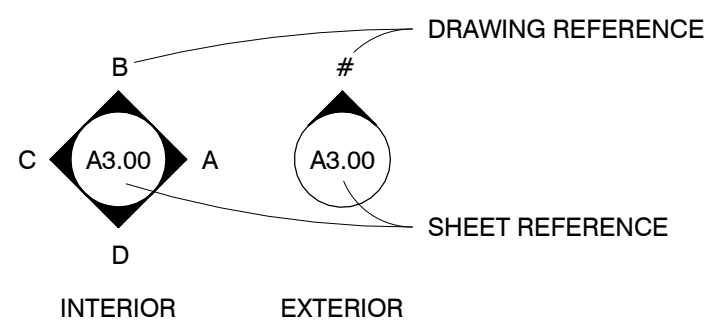
### WALL SECTION REFERENCE



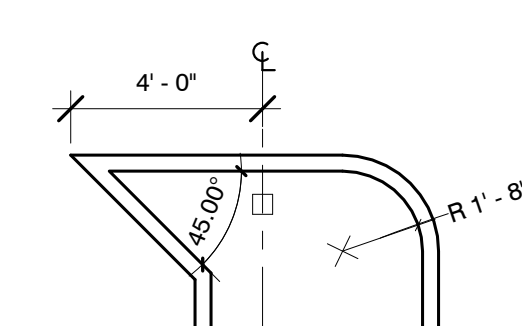
### DETAIL REFERENCE



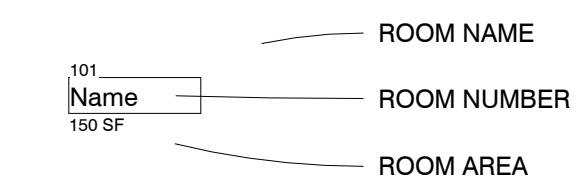
### ELEVATION REFERENCE



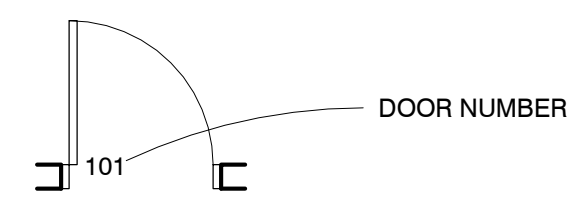
### DIMENSION LINES



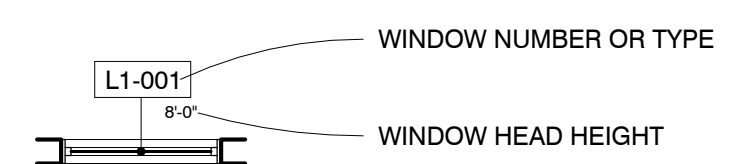
### ROOM TAG



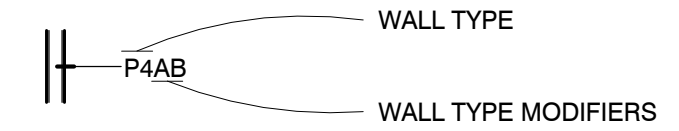
### DOOR TAG



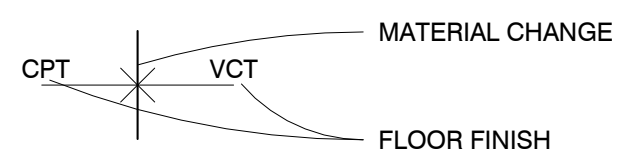
### WINDOW TAG



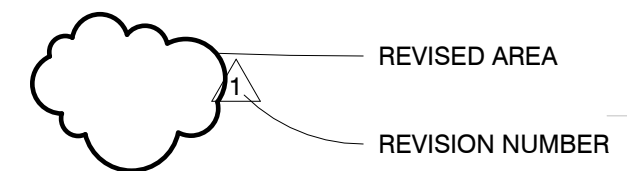
### WALL TYPE TAG



### FLOOR FINISH ARROW



### REVISION CLOUD



### VERTICAL DIMENSIONS



PROJECT:

**Bobak Bakhtiari**  
residence (v4.1)

AAA PROJECT CODE:21BOB

Vacant lots, 2nd Street, Montara,  
COunty of San Mateo, California



ANDERSON ANDERSON ARCHITECTURE

90 TEHAMA STREET  
SAN FRANCISCO, CALIFORNIA 94105

T 415.243.9500  
F 415.520.9522

**PRELIMINARY**  
NOT FOR CONSTRUCTION

DATE: 08/10/23

PHASE: DR PRE-APPROVAL

PREPARED Author

BY:

#	REVISION	ISSUE	DATE
---	----------	-------	------

TOTAL SF:

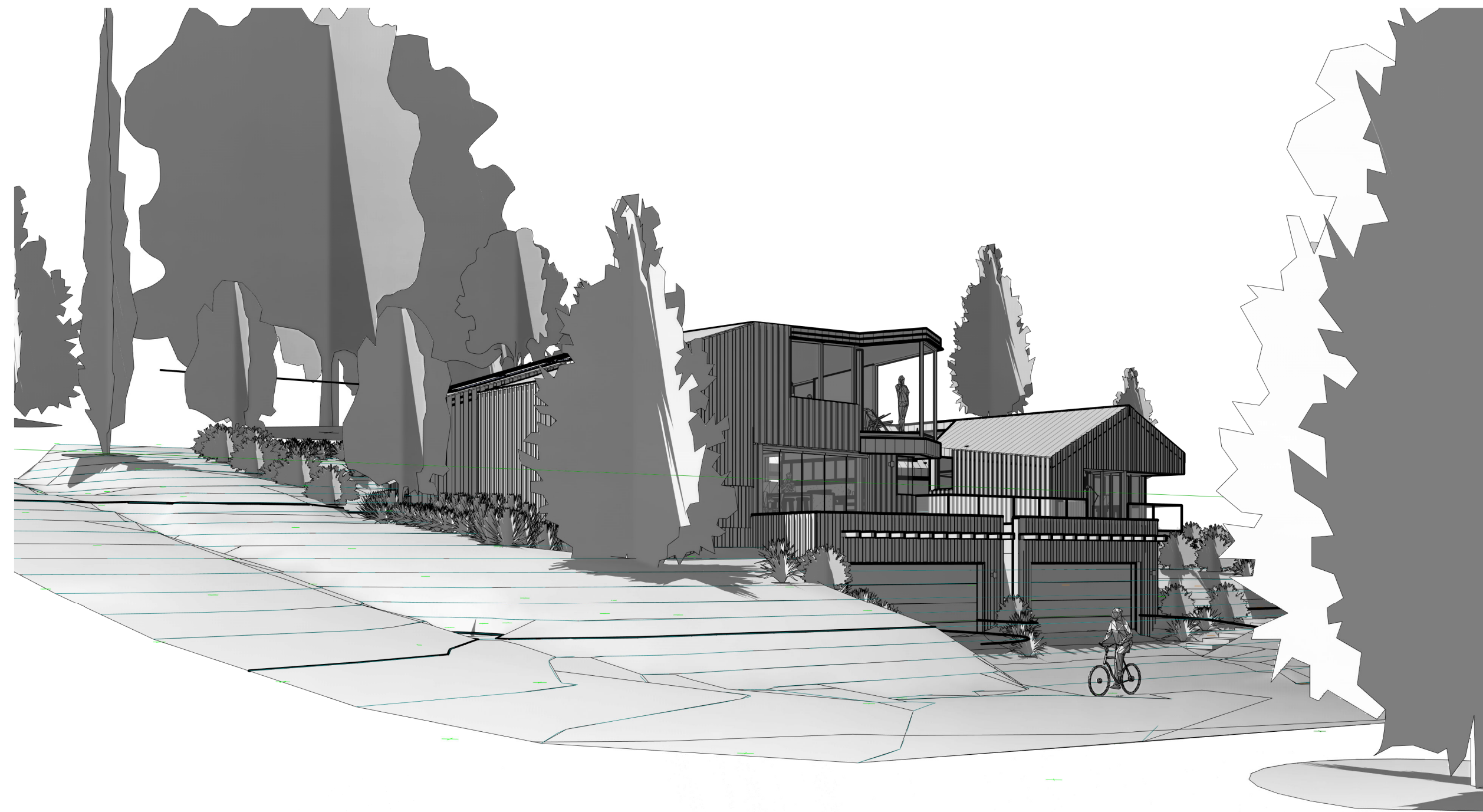
KEY PLAN:

NOTES &  
LEGENDS

A 0.2

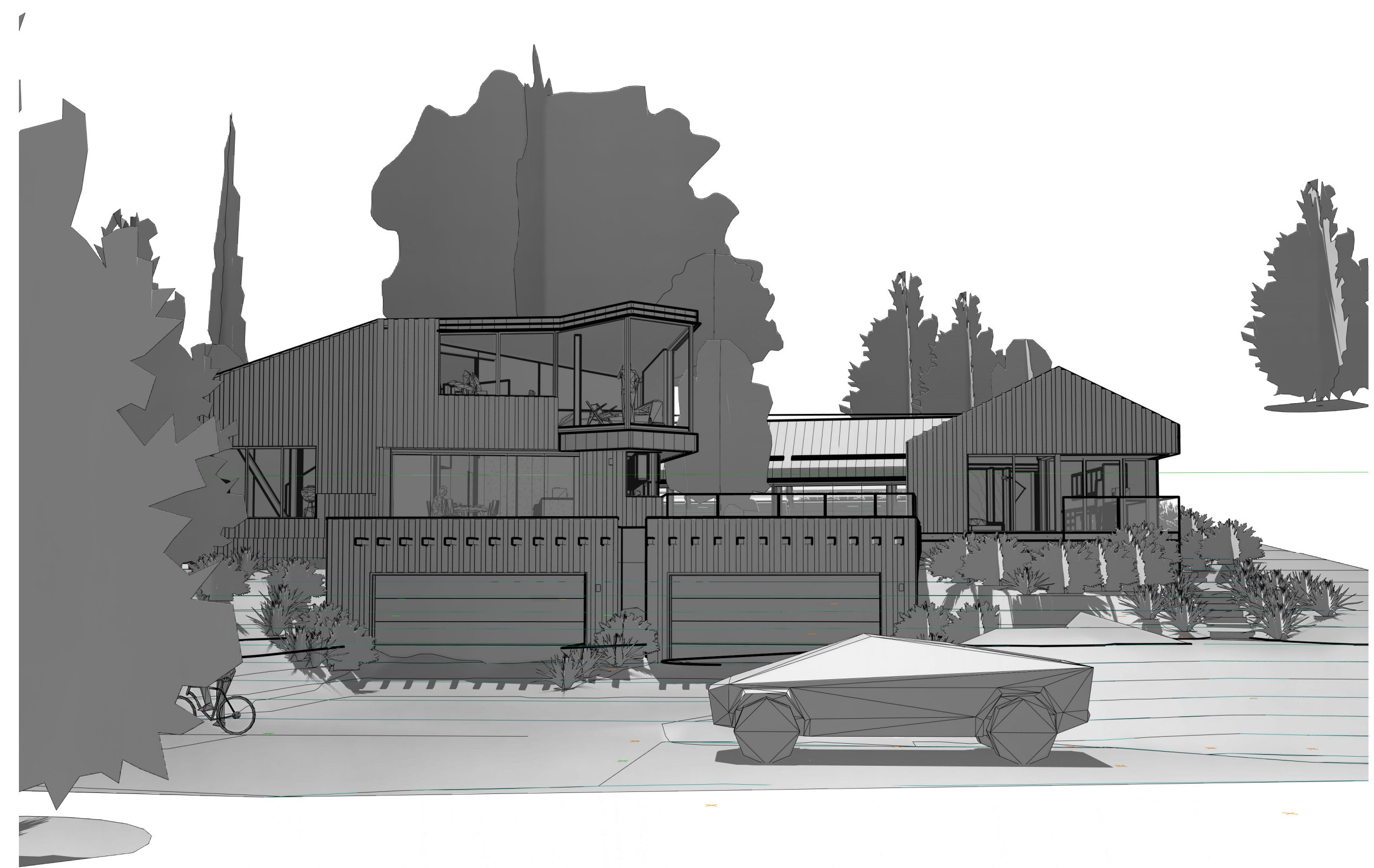
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DRAWING LIMIT



① 3D View 1

(EXT VIEW BLDG ENTRY)

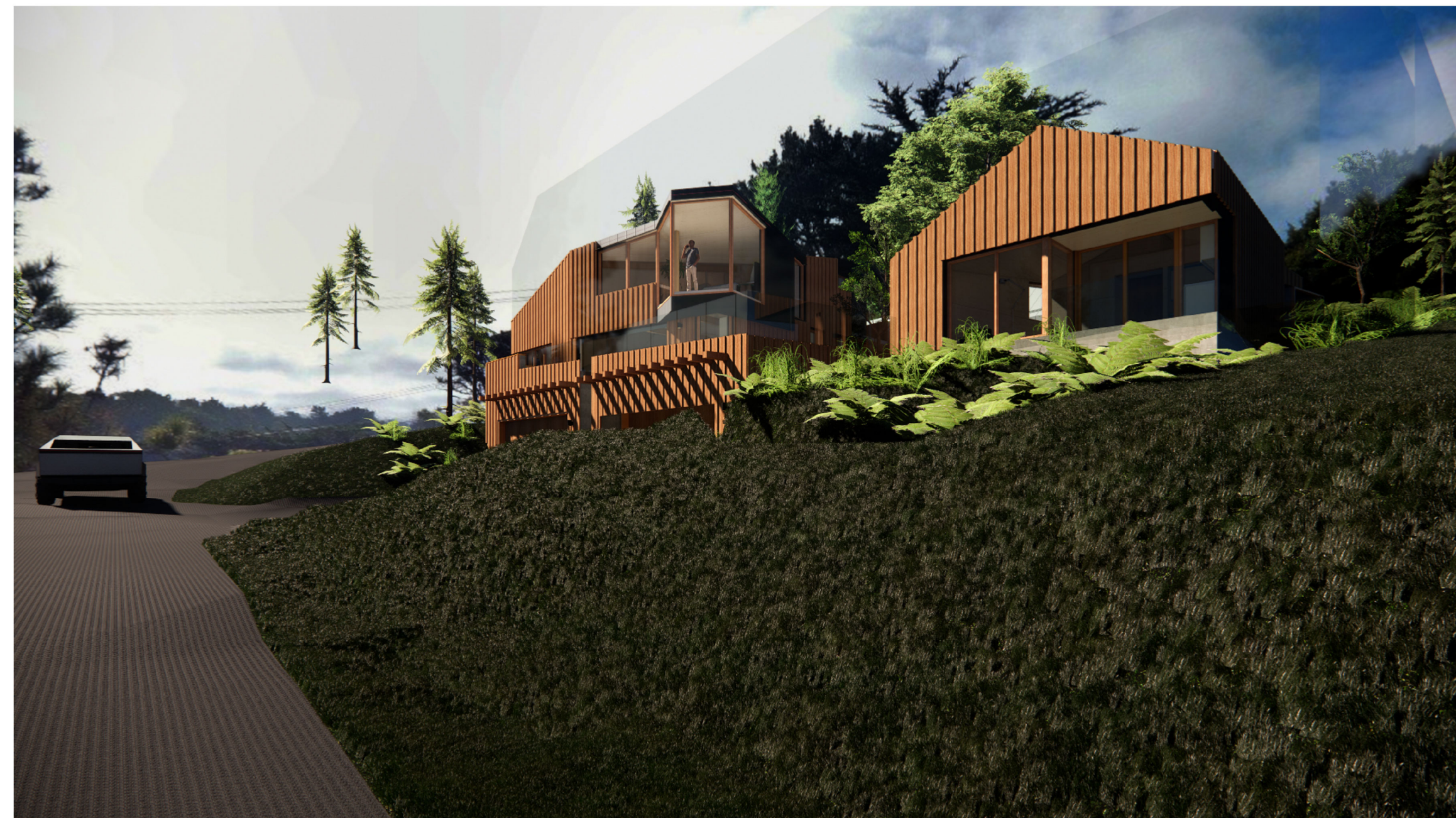


② 3D-View 2

(EXT VIEW BLDG ANGLE 1)



(EXT VIEW BLDG ANGLE 2)



(EXT VIEW BLDG BIRD VIEW)

PROJECT:  
**Bobak Bakhtiari residence (v4.1)**  
AAA PROJECT CODE:21BOB

Vacant lots, 2nd Street, Montara,  
County of San Mateo, California



ANDERSON ANDERSON ARCHITECTURE

90 TEHAMA STREET  
SAN FRANCISCO, CALIFORNIA 94105

T 415.243.9500  
F 415.520.9522

**PRELIMINARY**  
NOT FOR CONSTRUCTION

DATE: 08/10/23  
PHASE: DR PRE-APPROVAL  
PREPARED BY: Author

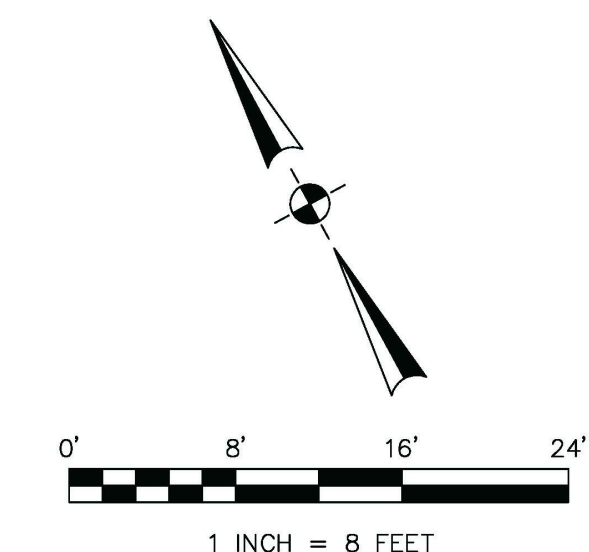
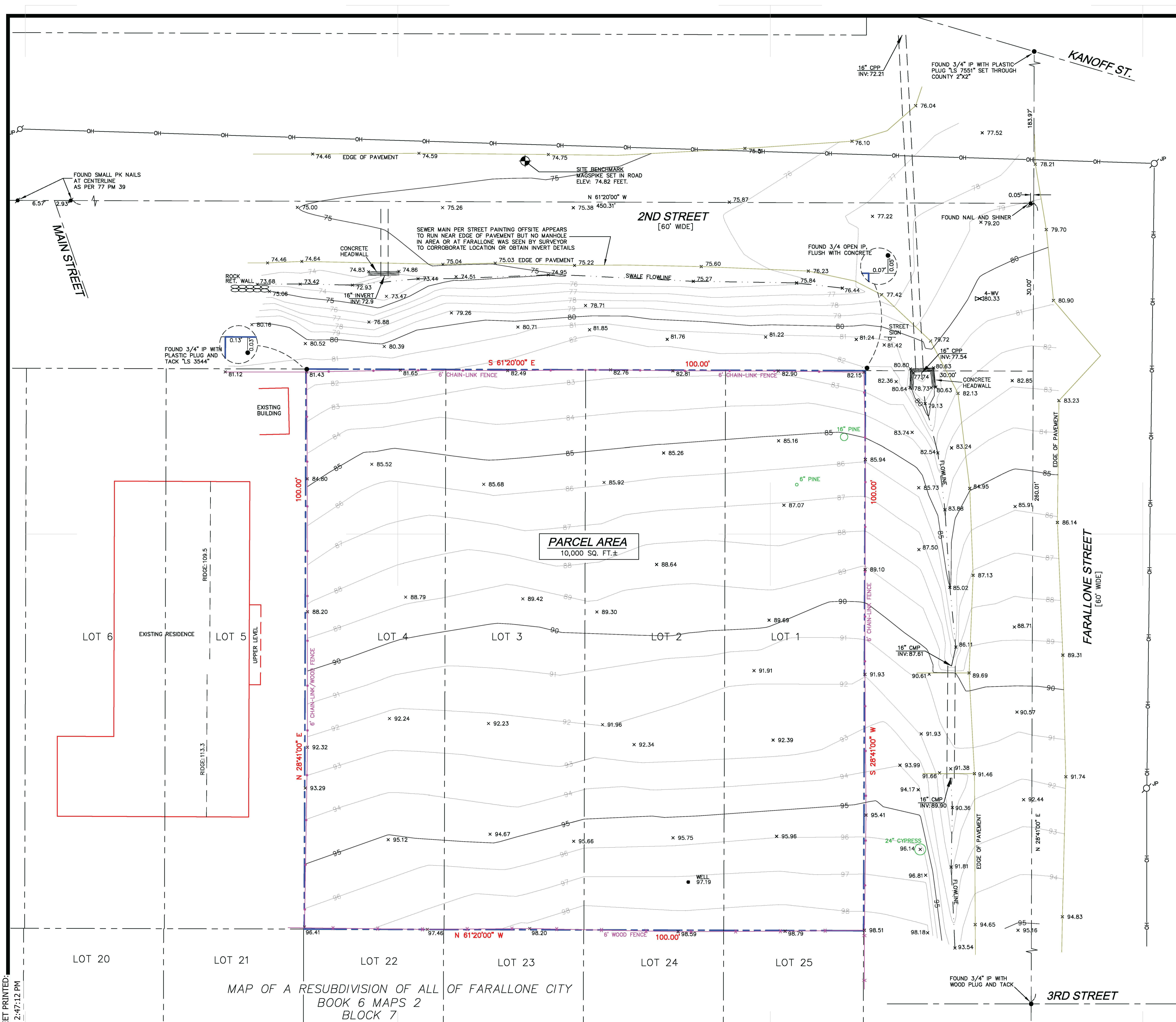
# REVISION ISSUE DATE

TOTAL SF:  
KEY PLAN:

PERSPECTIVE  
VIEWS EXT

**A 0.10.1**

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**BASIS OF BEARINGS**  
 BEARINGS SHOWN HEREON TAKEN FROM THE RECORD OF SURVEY BY BGT WHICH WAS FILED FOR RECORD IN VOLUME 29 OF LLS MAPS PAGE 40 ON DECEMBER 01, 2006, SAN MATEO COUNTY RECORDS.

**BENCHMARK**  
 ELEVATIONS SHOWN HEREON ARE BASED UPON MEAN SEA LEVEL DATUM BASED UPON A PREVIOUS GPS SURVEY PERFORMED IN 2002, TYING INTO "TIDAL S" BENCHMARK AT PRINCETON HARBOR. BENCHMARK TO USE FOR SITE WORK IS THE MAGSPIKE SET IN ASPHALT WITH AN ELEVATION OF 74.82 FEET.

**NOTES:**  
 BGT DID NOT RECEIVE A TITLE REPORT COVERING THE ENTIRE PARCEL AND THEREFORE EASEMENTS, IF ANY, COULD NOT BE PLOTTED.

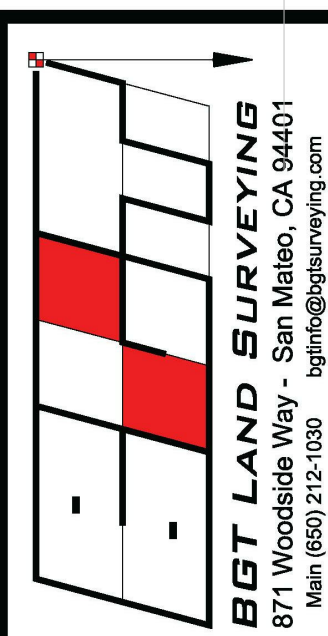
UTILITIES SHOWN HEREON TAKEN FROM VISUAL SURFACE EVIDENCE AND SHOULD BE CONSIDERED AS APPROXIMATE ONLY. ACTUAL LOCATIONS OF UTILITIES MAY VARY. TRUE LOCATION OF UTILITIES CAN ONLY BE OBTAINED BY EXPOSING THE UTILITY.

TREE LOCATIONS SHOWN HEREON ARE SHOWN SYMBOLICALLY WITH SYMBOL SIZES BASED UPON TRUNK DIAMETER AT CHEST HEIGHT, AT THE LOCATION WHERE THE TREE ENTERS THE GROUND SURFACE. LOCATIONS AND SIZES OF TREE TRUNKS CAN ONLY BE CONSIDERED APPROXIMATE UNLESS OTHERWISE STATED ON THE MAP. TREES OF TRUNK DIAMETER SIZES OF 6 INCHES OR GREATER WERE LOCATED BY THE FIELD CREW.

SURVEY PERFORMED BY: BGT LAND SURVEYING  
 www.bgtsurveying.com  
 DATE OF FIELD SURVEY: APRIL 03, 2020  
 AUGUST 12, 2021  
 JOB NUMBER: 20-040

**LEGEND**

AC	ASPHALT CONCRETE
CB	CATCH BASIN
C/L	CENTERLINE
CMP	CORRUGATED METAL PIPE
CO	CLEAN OUT BOX
CP	SURVEY CONTROL POINT
DI	DROP INLET
EM	ELECTRIC METER
FF	FINISHED FLOOR
FL	FLOWLINE
FH	FIRE HYDRANT
GM	GAS METER
GRD	GROUND
GUY	GUY ANCHOR
GV	GAS VALVE
HCR	HANDICAP RAMP
INV.	INVERT
IP	IRON PIPE
JP	JOINT POLE
LAT.	LATERAL
LG	LIP OF GUTTER
MH	MH (TYPE UNKNOWN)
MON-MON	MONUMENT TO MONUMENT DISTANCE
P&E	POLE VALVE
SDMH	STORM DRAIN MANHOLE
SSMH	SANITARY SEWER MANHOLE
SSV	SANITARY SEWER VAULT
TBC	TOP BACK OF CURB
TEM	TEMPORARY BENCHMARK
UNK	UNKNOWN TYPE
WBF	WATER BACK FLOW VALVE
WM	WATER METER BOX
WV	WATER VALVE
-OH-	OVERHEAD LINE
-SD-	STORM DRAIN LINE
-SS-	SANITARY SEWER LINE
-W-	WATER LINE



BOUNDARY AND TOPOGRAPHIC SURVEY  
 VACANT LOTS, 2ND STREET  
 MONTARA, COUNTY OF SAN MATEO, CALIFORNIA  
 LOTS 1-4, BLOCK 7, "MAP OF A RESUBDIVISION OF ALL OF FARALLONE CITY" (BOOK 6 MAPS 2)

Assessor Parcel Number:  
 036-014-200  
 036-014-210

Prepared For:  
 BOBAK BAKHTIARI  
 8511 COLE CREST DRIVE  
 LOS ANGELES, CA 90048

Date: AUGUST 2021  
 Scale: 1" = 8'  
 Contour Interval: 1'  
 Drawn by: LHL  
 Revision:

Job No. 20-040

PROJECT:  
**Bobak Bakhtiari residence (v4.1)**  
 AAA PROJECT CODE:21B0B  
 Vacant lots, 2nd Street, Montara,  
 County of San Mateo, California



ANDERSON ANDERSON ARCHITECTURE  
 90 TEHAMA STREET  
 SAN FRANCISCO, CALIFORNIA 94105  
 T 415.243.9500  
 F 415.520.9522

**PRELIMINARY**  
 NOT FOR CONSTRUCTION

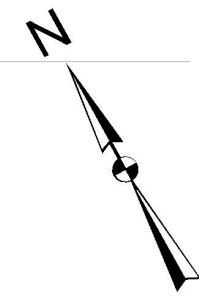
DATE:	08/10/23
PHASE:	DR PRE-APPROVAL
PREPARED BY:	Author
#	REVISION ISSUE DATE

TOTAL SF:  
 KEY PLAN:

**SU-1**

PROPERTY SURVEY

**A 1.0**



ANDERSON ANDERSON ARCHITECTURE

90 TEHAMA STREET  
SAN FRANCISCO, CALIFORNIA 94105  
T 415.243.9500  
F 415.520.9522

**PRELIMINARY**  
NOT FOR CONSTRUCTION

DATE: 08/10/23  
PHASE: DR PRE-APPROVAL  
PREPARED BY: Author

#	REVISION	ISSUE	DATE

TOTAL SF:  
KEY PLAN:

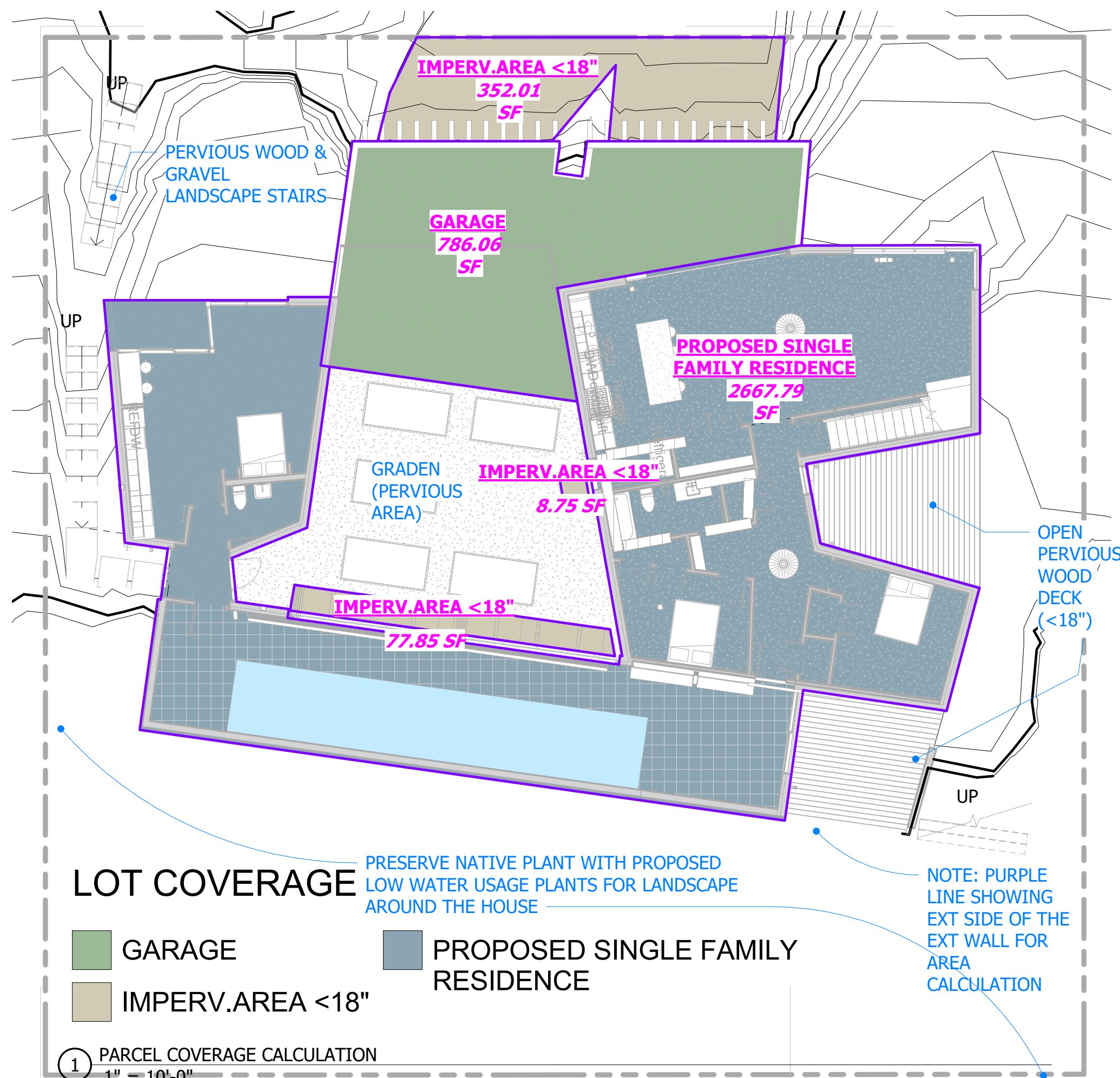
PROPERTY TAX  
MAP

A 1.0.1



SHEET PRINTED:  
8/16/2023 2:47:23 PM

5

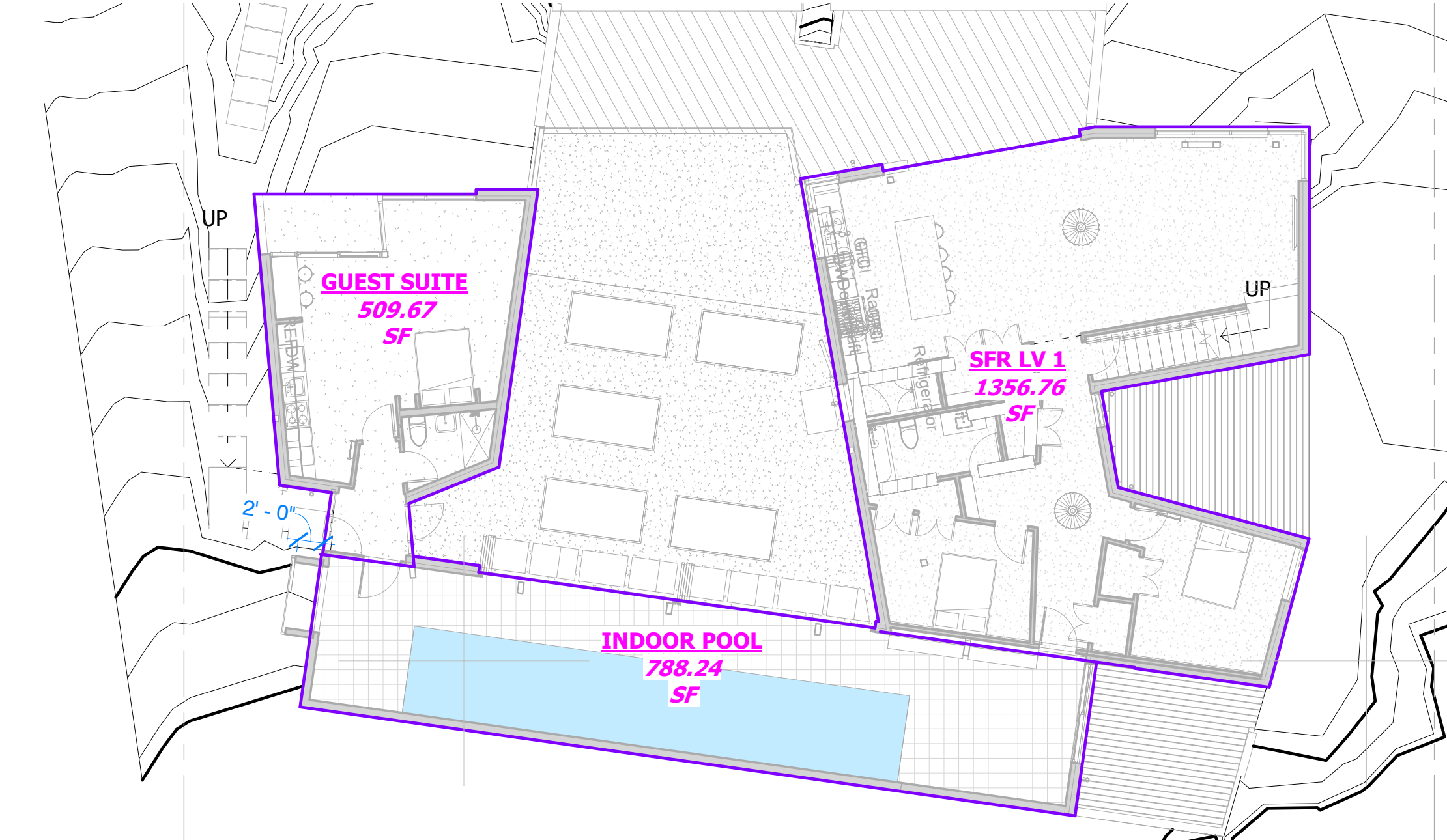


**LOT COVERAGE** PRESERVE NATIVE PLANT WITH PROPOSED LOW WATER USAGE PLANTS FOR LANDSCAPE AROUND THE HOUSE

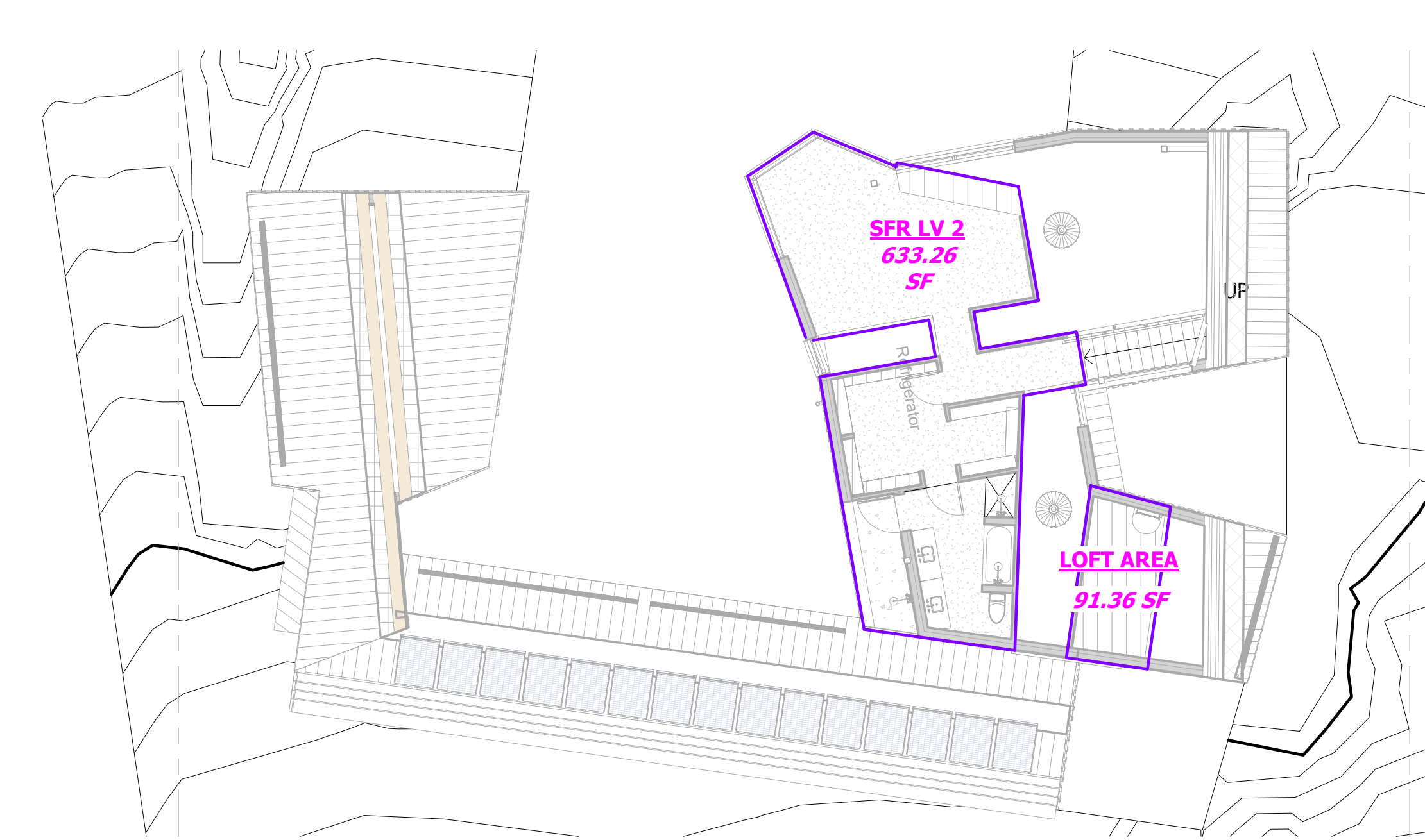
**GARAGE** **PROPOSED SINGLE FAMILY RESIDENCE**  
**IMPERV.AREA <18"**

① PARCEL COVERAGE CALCULATION  
 1" = 10'-0"

② GARAGE LEVEL  
 1" = 10'-0"



③ LEVEL 1  
 1" = 10'-0"



④ LEVEL 2  
 1" = 10'-0"

Area Schedule (Gross Building)					
Name	Number	Level	Area	Perimeter	Comments
MAIN HOUSE					
GARAGE LEVEL					
SFR GARAGE	A001	GARAGE LEVEL	1221.75 SF	159' - 11 1/8"	MAIN HOUSE
BASEMENT	A002	GARAGE LEVEL	319.45 SF	73' - 1 5/8"	MAIN HOUSE
LEVEL 1					
GUEST SUITE	A102	LEVEL 1	509.67 SF	98' - 1 1/4"	MAIN HOUSE
SFR LV 1	A101	LEVEL 1	1356.76 SF	181' - 2"	MAIN HOUSE
INDOOR POOL	A003	LEVEL 1	788.24 SF	150' - 11 3/4"	MAIN HOUSE
LEVEL 2					
SFR LV 2	A201	LEVEL 2	633.26 SF	148' - 11 7/8"	MAIN HOUSE
LOFT AREA	A202	LEVEL 2	91.36 SF	40' - 9 5/8"	MAIN HOUSE
MAIN HOUSE: 7			4920.49 SF		
Grand total: 7			4920.49 SF		

**CURRENT DATA POINT:**  
**4920.75 SQFT/10000sqft = 49.2%**

Zoning = R-1/S-17  
 Lot size = 10,000 sq. ft.  
 Max FAR = 0.53 x 10,000 = 5,300 sq. ft.  
 Max Lot Coverage = 0.35 X 10,000 = 3,500 sq. ft.

**NOTES ON maximum FAR:**  
 2500-4,749 sqft lot size 0.48X(parcel sizes)  
 5000-11,698 sqft lot size 0.53 x (parcel sizes)

The maximum building floor area shall include the floor area of all stories of all buildings and accessory buildings on a building site. Maximum building floor area specifically includes: (1) the floor area of all stories excluding uninhabitable attics as measured from the outside face of all exterior perimeter walls, (2) the area of all decks, porches, balconies or other areas covered by a waterproof roof which extends four (4) or more feet from Exterior walls, and (3) the area of all garages and carports.

b. Up to 200 sq. ft. of covered parking floor area shall not be counted toward the limitations set forth in subsection a. for any substandard lot that is (1) smaller than 4,500 sq. ft. in area, (2) not in common ownership with contiguous lots, and (3) developed with an affordable (very low, low, or moderate income) single-family residential unit, i.e., subject to income and cost/rent restriction contracts with San Mateo County.

In addition to the limitations set forth in subsection a., permit 250 sq. ft. bonus building floor area for any parcel whose substandard lots are voluntarily merged in accordance with the provisions of San Mateo County Board of Supervisors' Resolution No. 068386 (Exhibit "G").

LOT COVERAGE CALCULATION			
Name	Perimeter	Area	Comments

BLDG			
PROPOSED SINGLE FAMILY RESIDENCE	379' - 6 5/8"	2667.79 SF	BLDG
GARAGE	141' - 6 7/8"	786.06 SF	BLDG
BLDG: 2		3453.85 SF	

IMPERVIOUS AREA			
IMPERVIOUS AREA	IMPERVIOUS AREA	IMPERVIOUS AREA	IMPERVIOUS AREA
IMPERV AREA <18"	105' - 8"	352.01 SF	IMPERVIOUS AREA
IMPERV AREA <18"	67' - 4 7/8"	77.85 SF	IMPERVIOUS AREA
IMPERV AREA <18"	12' - 0"	8.75 SF	IMPERVIOUS AREA
IMPERVIOUS AREA: 3		438.60 SF	
Grand total: 5		3892.46 SF	

**NOTE ON PARCEL COVERAGE:**  
 Parcel Coverage. The maximum parcel coverage shall be:  
 a. For structures 16 feet in height or less: 50%.  
 b. For structures greater than 16 feet in height: 35%.  
 The parcel coverage calculation shall include all: (1) buildings, (2) accessory buildings, or (3) structures such as patios, decks, balconies, porches, bridges, and other similar uses which are eighteen (18) inches or more above the ground, per Section 6300.2 (4).

**PARCEL COVERAGE CALCULATION:**  
**3453.85/10000 = 34.54%**

**NOTE ON IMPREVIOUS AREA:**  
 THE AMOUNT OF PARCEL AREA COVERED BY IMPREVIOUS STRUCTURES LESS THAN EIGHTEEN INCHES (18") IN HEIGHT IS LIMITED TO TEN PERCENT (10%) PARCEL SIZE (NOT TO EXCEED 1,170 SQ. FT. FOR RESIDENTIAL USES). IMPREVIOUS STRUCTURES INCLUDE, BUT ARE NOT LIMITED TO, NON-POROUS DRIVEWAYS, DECKS, PATIOS, WALKWAYS AND SWIMMING POOLS.

**IMPERVIOUS AREA CALC:**  
**438.6 SF < 1000 SQFT (10% LOT AREA)**  
**\* IT WORKS WITH THE REQUIREMENT**

PROJECT:  
**Bobak Bakhtiari residence (v4.1)**  
 AAA PROJECT CODE: 21BOB

Vacant lots, 2nd Street, Montara, County of San Mateo, California

ANDERSON ANDERSON ARCHITECTURE  
 90 TEHAMA STREET  
 SAN FRANCISCO, CALIFORNIA 94105  
 T 415.243.9500  
 F 415.520.9522

**PRELIMINARY**  
 NOT FOR CONSTRUCTION

DATE:	08/10/23
PHASE:	DR PRE-APPROVAL
PREPARED BY:	AO
#	REVISION ISSUE DATE

TOTAL SF:  
 KEY PLAN:

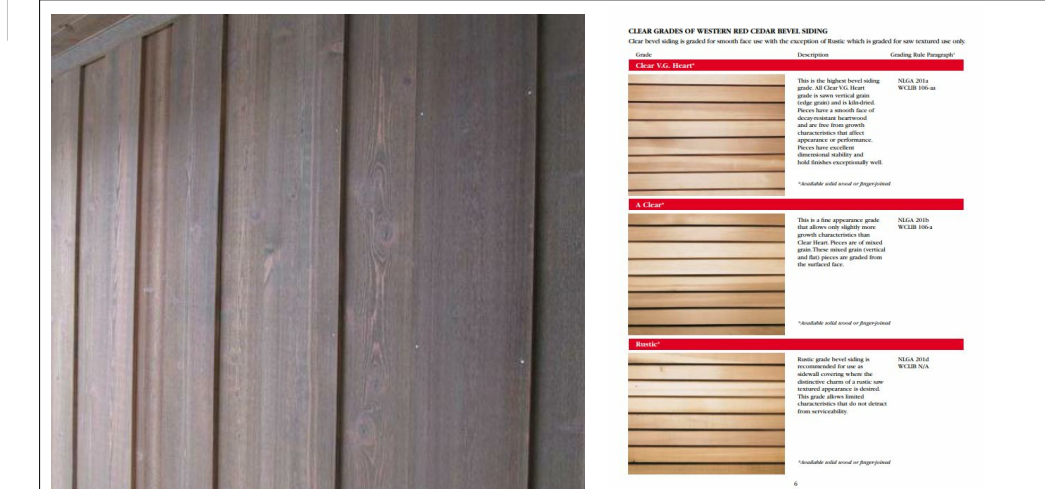
**AREA CALCULATIONS**  
**A 1.0.4**

# PROPOSED SINGLE FAMILY RESIDENCE



## MATERIAL PALLETTE

### WALL FINISH

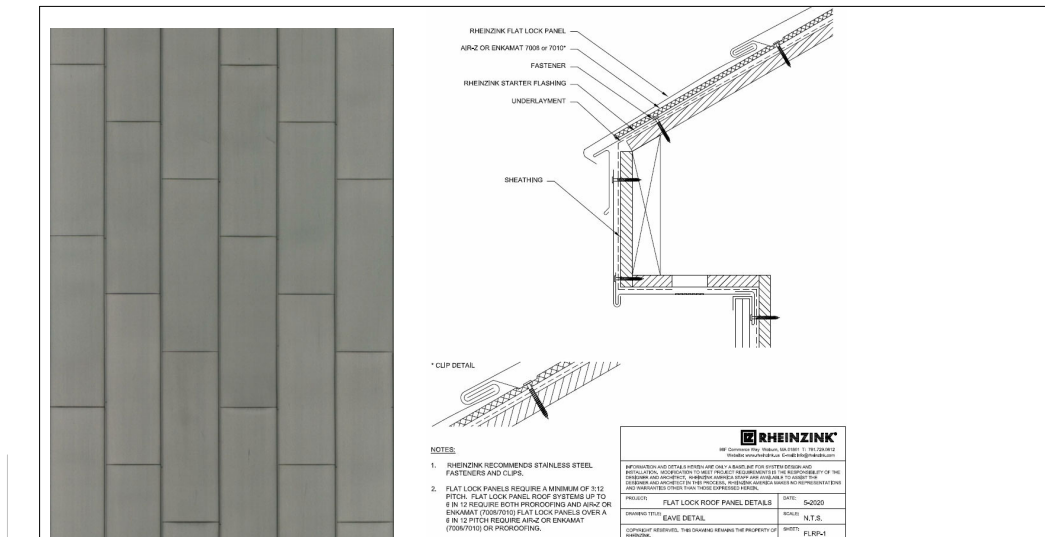


CEDAR BOARD AND BATTEN EXTERIOR SIDING, A CLEAR GRADE



DEMAX FRAMELESS GLASS RAILING WITH ALUM BASE SHOE

### ROOFING



ZINC FLAT LOCK TILE ROOFING



CLASS A FIRE RATED SINGLE PLY MEMBRANE ROOF CLASS A FIRE RATED GLAZING OVER SWIMMING POOL

PROJECT:  
Bobak Bakhtiari residence (v4.1)  
AAA PROJECT CODE:21BOB

Vacant lots, 2nd Street, Montara, County of San Mateo, California

ANDERSON ANDERSON ARCHITECTURE  
90 TEHAMA STREET  
SAN FRANCISCO, CALIFORNIA 94105  
T 415.243.9500  
F 415.520.9522

PRELIMINARY  
NOT FOR CONSTRUCTION

DATE: 12/13/23  
PHASE: PLANNING DR  
PREPARED BY: Author

#	REVISION ISSUE	DATE
1	2nd submittal planning review	07/14/2023

TOTAL SF:  
KEY PLAN:

PROPOSED DESIGN + MATL PALLETTE A 1.0.5  
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## ACCESSORIES

**Calulater Outdoor LED Wall Sconce**  
By Arreola

Product Options:  
Finish: Matte Black  
Color Temperature: 3000K

Details:  
3 Dia. 12" Round Outdoor Fixture Width & 18" Height  
3 Dia. 12" Round LED Sconce  
Lighting:  
3 Dia. 12" Round LED Sconce  
Total Lumens: 200  
Total Watts: 4.0W  
Color Temp: 3000K  
CRI: 90  
Dimmable: No  
Material: Aluminum  
Finish: Matte Black

Additional Details:  
Product CRI: 90  
Material: Aluminum  
Finish: Matte Black  
Weight: 1.5 lbs  
Dimensions: 12" Dia. x 18" H

COPPER DOWNSPOUT AND BOX SCUPPER,

4" Round Downspout

Model OFX Dimensions

MODEL	DUCT SIZE	A	B	C	D	E	F	FREE AREA
OFX-2	2"	2.2500	4.2500	2.2500	2.1175	1.5000	3.7500	8.82 sq. ft.
OFX-4	4"	3.1250	6.3750	3.1250	3.1175	1.5000	3.7500	8.84 sq. ft.
OFX-6	6"	4.1250	8.3750	4.1250	3.1175	1.5000	3.7500	8.88 sq. ft.
OFX-8	8"	5.1250	10.3750	5.1250	3.1175	1.5000	3.7500	8.92 sq. ft.
OFX-10	10"	6.1250	12.3750	6.1250	3.1175	1.5000	3.7500	8.96 sq. ft.
OFX-12	12"	7.1250	14.3750	7.1250	3.1175	1.5000	3.7500	9.00 sq. ft.

Dimensions are in inches. Product information is subject to change without notice.

SEIHO WALL VENT CAP, ANODISED ALUMINUM FINISH

## WINDOW & DOOR

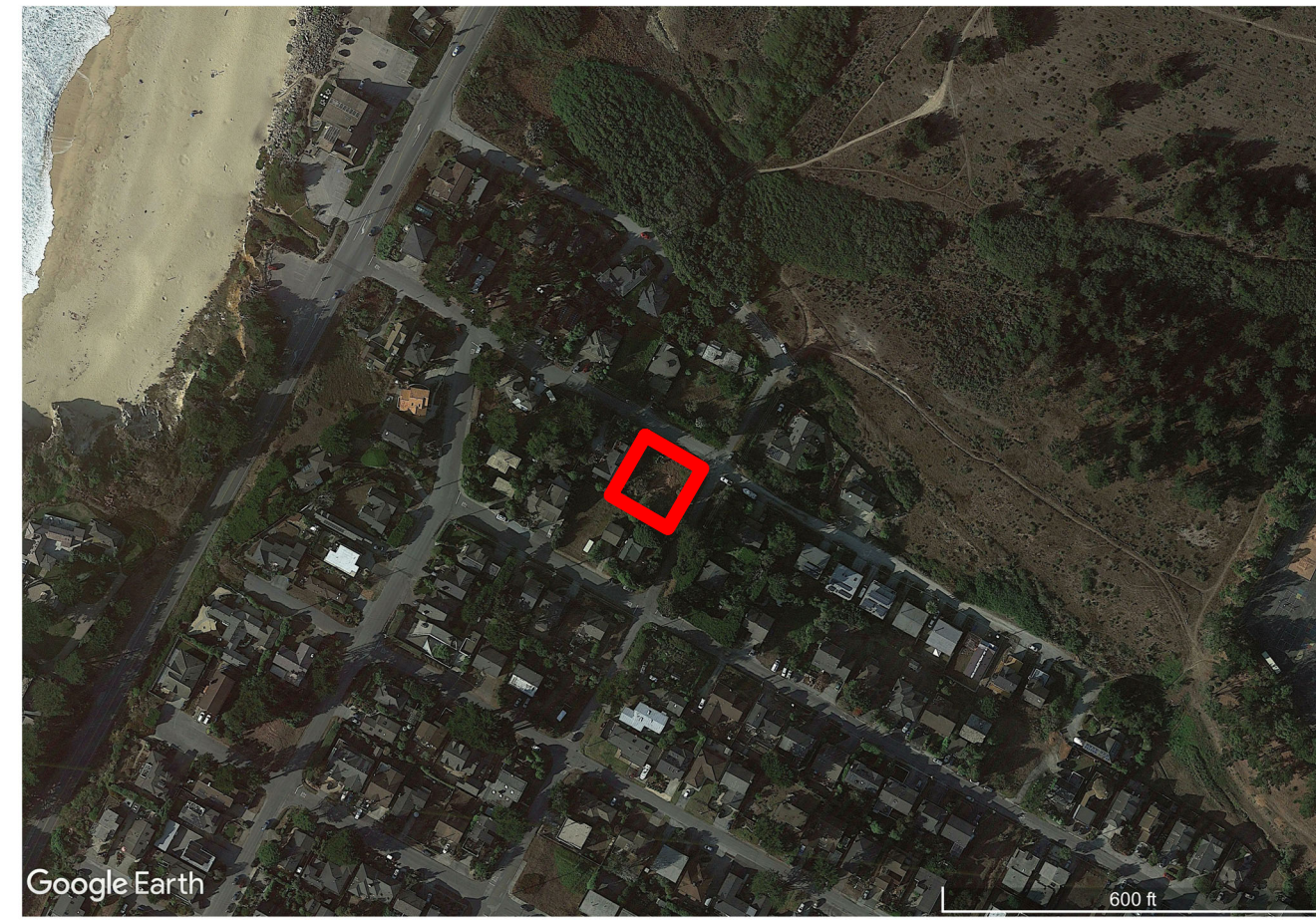
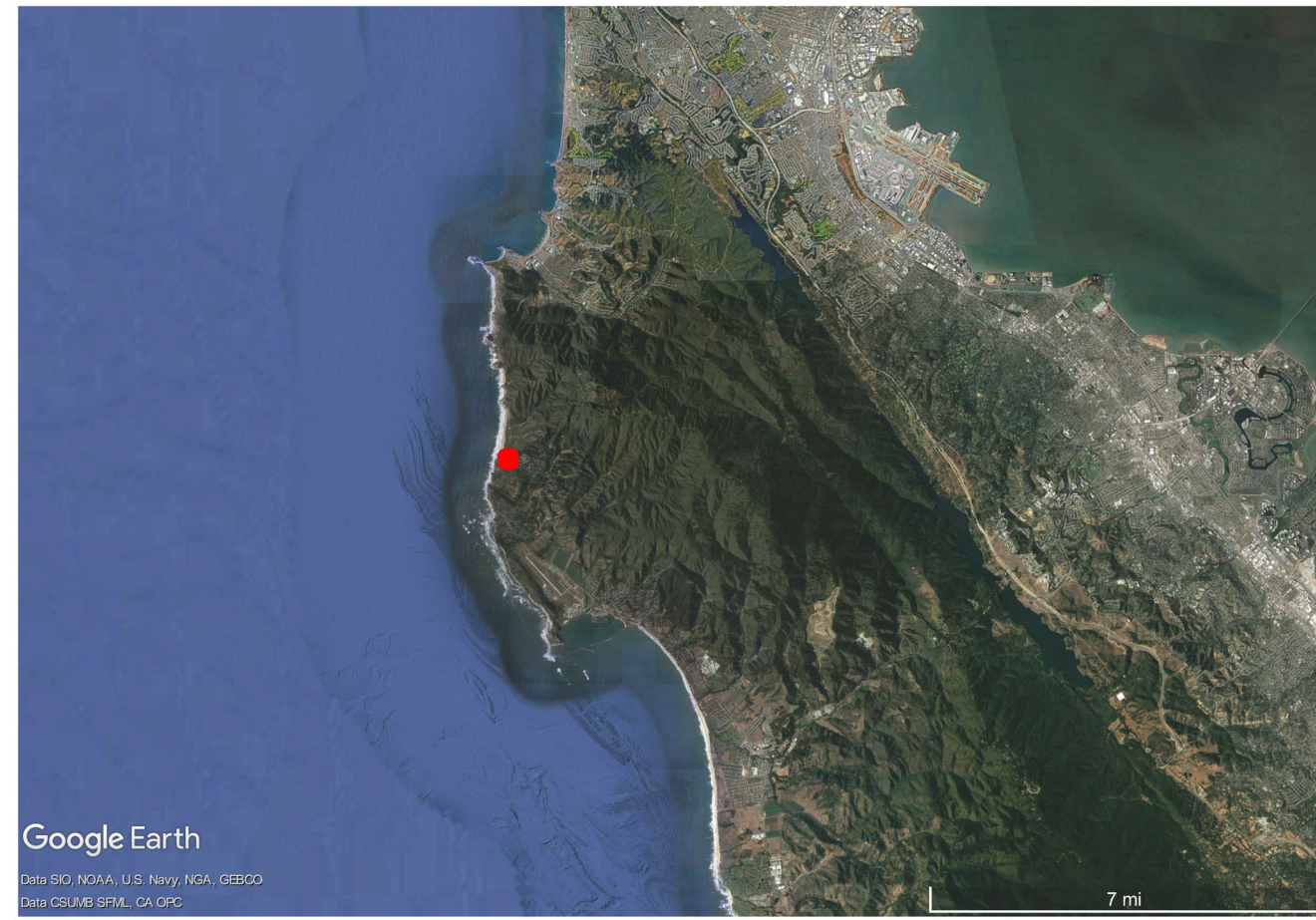
OVERHEAD GARAGE DOOR WITH CUSTOM CEDAR BOARD CLADDING TO MATCH EXT SIDING OF THE HOUSE

Callista - Exterior Modern Solid Wood Pivot Entry Door

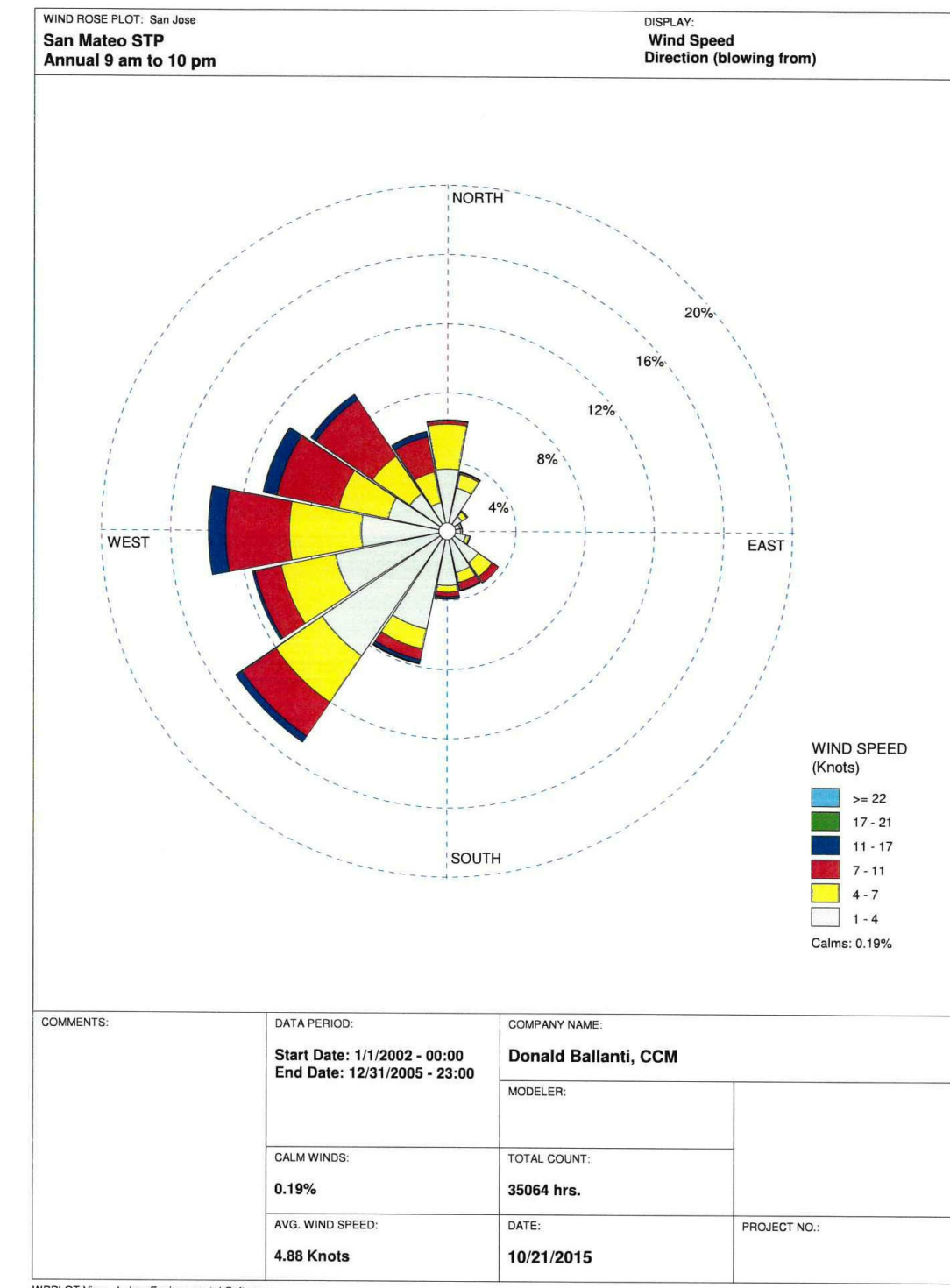
COVER GLASS USA FOLDING GLASS WALL, BLACK TRACK WITH CLEAR GLAZING

BLACK FIBERGLASS WINDOW & DOOR FRAME, MARVIN ELEVATE SERIES

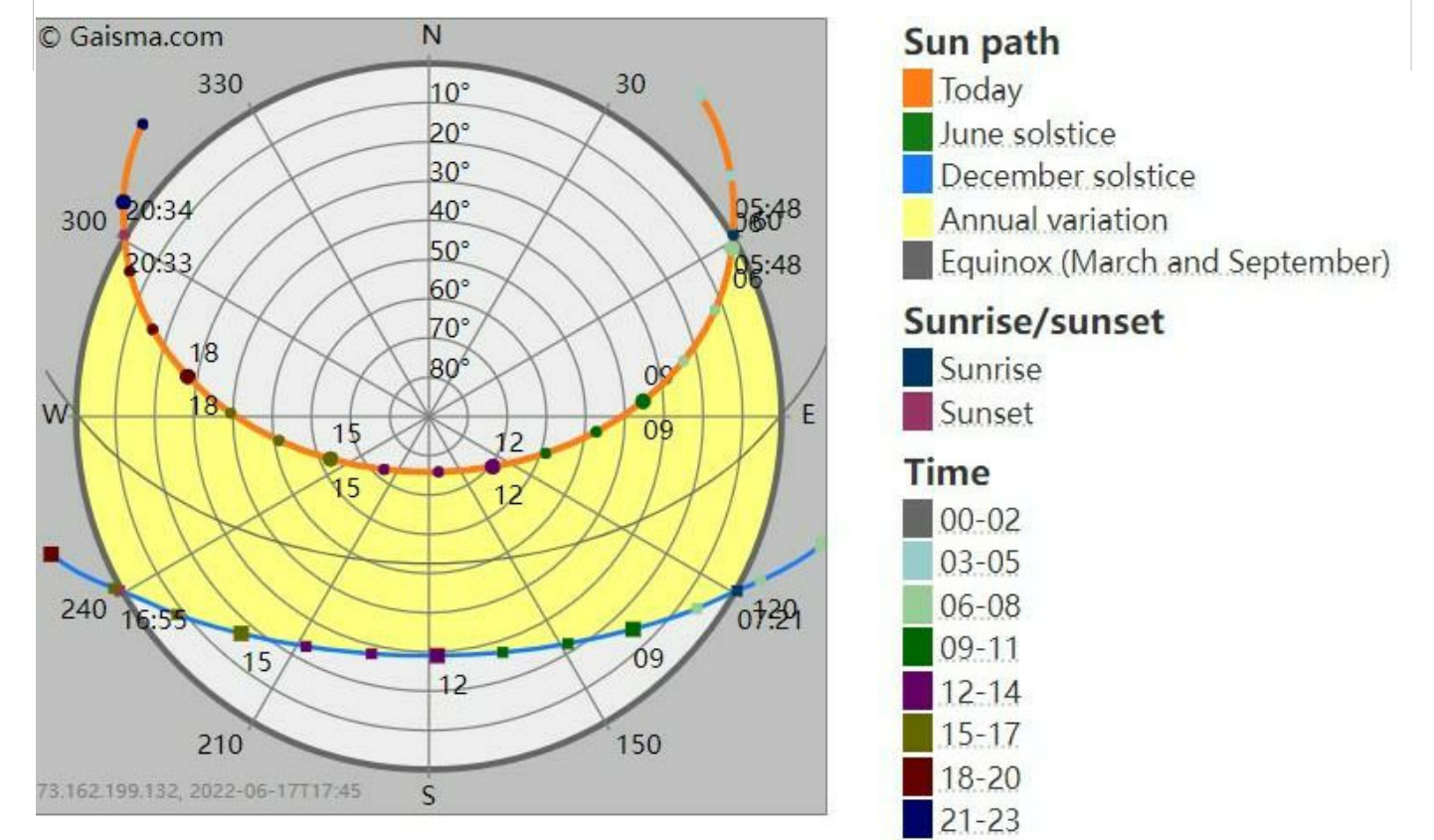
SHEET PRINTED:  
1/18/2024 12:22:34 AM



## PREVAILING WIND



## SOLAR STUDY



PROJECT:  
**Bobak Bakhtiari residence (v4.1)**  
AAA PROJECT CODE: **21BOB**

Vacant lots, 2nd Street, Montara,  
County of San Mateo, California



ANDERSON ANDERSON ARCHITECTURE

90 TEHAMA STREET  
SAN FRANCISCO, CALIFORNIA 94105  
T 415.243.9500  
F 415.520.9522

**PRELIMINARY**  
NOT FOR CONSTRUCTION

DATE: 08/10/23  
PHASE: DR PRE-APPROVAL  
PREPARED BY: Author

#	REVISION	ISSUE	DATE
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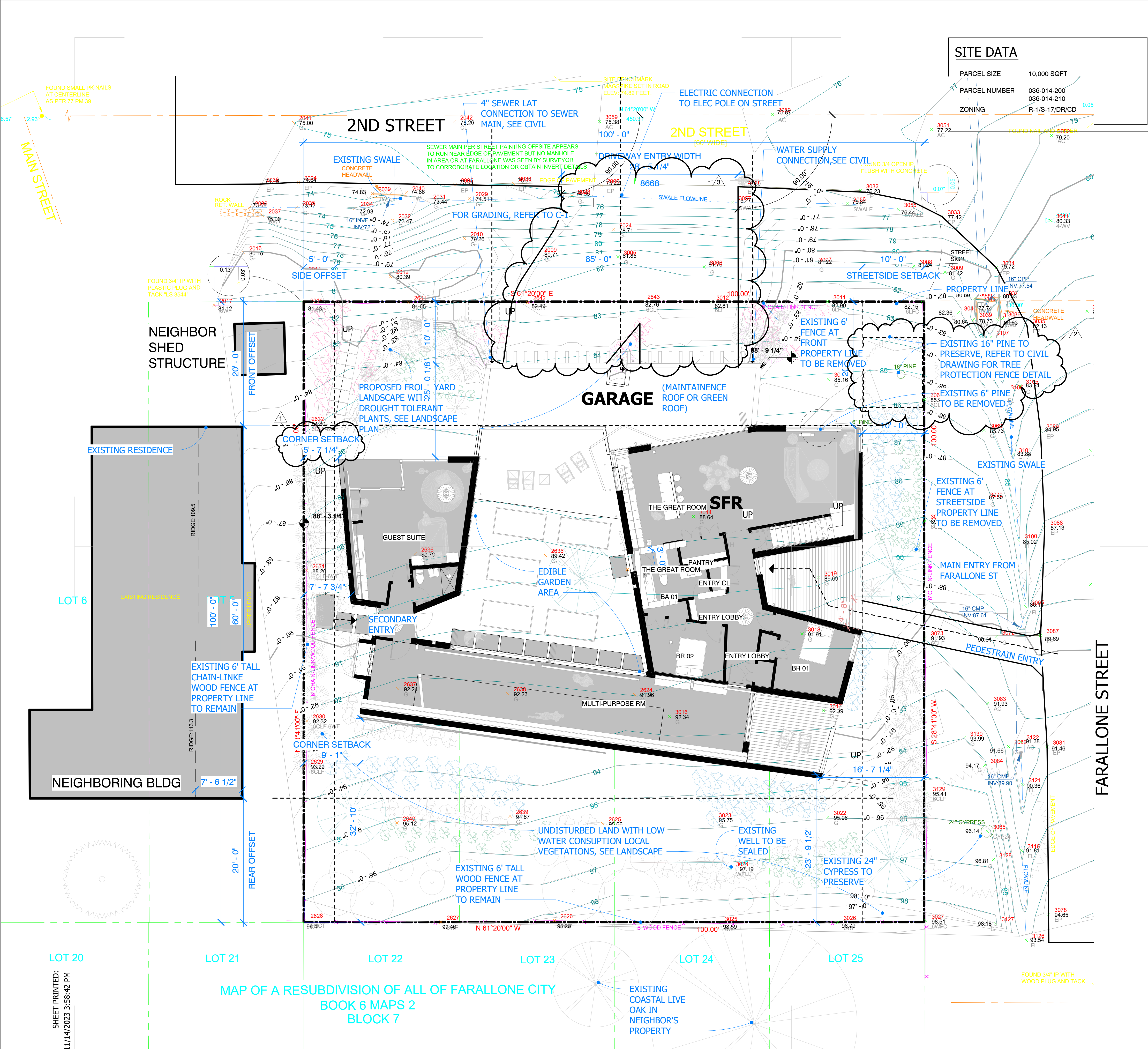
TOTAL SF:  
KEY PLAN:

VICINITY PLAN

A 1.1

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SITE DATA	
PARCEL SIZE	10,000 SQFT
PARCEL NUMBER	036-014-200 036-014-210
ZONING	R-1/S-17/DR/CD 0.05

ENCLOSED ROOM AREA SCHEDULE			
Number	Name	Area	Comments

GUEST SUITE			
A005	POOL/GUEST SUITE BA	34.63 SF	GUEST SUITE
A006	OUTDOOR BALCONY	47.07 SF	GUEST SUITE
A013	GUEST SUITE	310.47 SF	GUEST SUITE
A017	GUEST ENTRY	45.70 SF	GUEST SUITE
		437.87 SF	

INDOOR POOL			
A015	MULTI-PURPOSE RM	725.34 SF	INDOOR POOL
		725.34 SF	

SFR			
A001	GARAGE	1205.71 SF	SFR
A003	GUEST BA	34.90 SF	SFR
A004	LOWER BR	116.53 SF	SFR
A007	CL	15.35 SF	SFR
A008	BR 02 CL	14.07 SF	SFR
A009	POOL STORAGE	11.52 SF	SFR
A010	PANTRY	26.78 SF	SFR
A011	BR 01 CLOSET	11.09 SF	SFR
A012	ENTRY CL	13.81 SF	SFR
A101	ENTRY LOBBY	146.93 SF	SFR
A102	THE GREAT ROOM	649.61 SF	SFR
A103	BR 01	132.75 SF	SFR
A104	BA 01	56.06 SF	SFR
A105	BR 02	108.87 SF	SFR
A201	MASTER BR	301.57 SF	SFR
A202	MASTER BA	95.07 SF	SFR
A203	MASTER CL + DRESSING RM	114.31 SF	SFR
A205	EXTERIOR DECK	46.29 SF	SFR
A206	STORAGE LOFT	74.18 SF	SFR
		3175.40 SF	

Grand total 4338.60 SF

### SITE PLAN NOTES:

- AS THE MAIN RESIDENCE IS OVER 16 FEET IN HEIGHT, SIDE YARD SETBACK SHALL MAINTAIN A COMBINED TOTAL OF 15 FEET WITH A MINIMUM OF 5 FEET ON ANY SIDE, PER SECTION 6300.2 (3)
- THE PARCEL COVERAGE CALCULATION SHALL INCLUDE ALL: (1) BUILDINGS, (2) ACCESSORY BUILDINGS, OR (3) STRUCTURES SUCH AS PATIOS, DECKS, BALCONIES, PORCHES, BRIDGES, AND OTHER SIMILAR USES WHICH ARE EIGHTEEN (18) INCHES OR MORE ABOVE THE GROUND, PER SECTION 6300.2 (4). PLEASE CONSIDER USING A POLYGON DIAGRAM TO SHOW HOW THE COVERAGE IS CALCULATED. MAXIMUM BUILDING FLOOR AREA SPECIFICALLY INCLUDES: (1) THE FLOOR AREA OF ALL STORIES EXCLUDING UNINHABITABLE ATTICS AS MEASURED FROM THE OUTSIDE FACE OF ALL EXTERIOR PERIMETER WALLS, (2) THE AREA OF ALL DECKS, PORCHES, BALCONIES OR OTHER AREAS COVERED BY A WATERPROOF ROOF WHICH EXTENDS FOUR (4) OR MORE FEET FROM EXTERIOR WALLS, AND (3) THE AREA OF ALL GARAGES AND CARPORTS, PER SECTION 6300.2 (5). PLEASE CONSIDER USING A POLYGON DIAGRAM TO SHOW HOW THE FLOOR AREA IS CALCULATED.

### WELO REQUIREMENTS:

AS OF DECEMBER 1, 2015, THE ORDINANCE WILL APPLY TO NEW LANDSCAPE PROJECTS EQUAL TO OR GREATER THAN 500 SQ. FT. (THE PREVIOUS THRESHOLD WAS 2,500 SQ. FT.). THE ORDINANCE ALSO APPLIES TO REHABILITATED LANDSCAPE PROJECTS EQUAL TO OR GREATER THAN 2,500 SQ. FT. A PRESCRIPTIVE CHECKLIST IS AVAILABLE AS A COMPLIANCE OPTION FOR PROJECTS UNDER 2,500 SQ. FT.

THE FOLLOWING RESTRICTIONS, INCLUDING BUT NOT LIMITED TO THE FOLLOWING, AS WELL AS IRRIGATION SYSTEM RESTRICTIONS, APPLY TO PROJECTS USING THE PRESCRIPTIVE CHECKLIST:

COMPOST: PROJECT MUST INCORPORATE COMPOST AT A RATE OF AT LEAST FOUR (4) CUBIC YARDS PER 1,000 SQ. FT. TO A DEPTH OF 6 INCHES INTO LANDSCAPE AREA (UNLESS CONTRA-INDICATED BY A SOIL TEST).  
 PLANT WATER USE (RESIDENTIAL): INSTALL CLIMATE ADAPTED PLANTS THAT REQUIRE OCCASIONAL, LITTLE OR NO SUMMER WATER (AVERAGE WUCOLS PLANT FACTOR 0.3) FOR 75% OF THE PLANT AREA EXCLUDING EDIBLES AND AREAS USING RECYCLED WATER. PLANT USE (NON-RESIDENTIAL): INSTALL CLIMATE ADAPTED PLANTS THAT REQUIRE OCCASIONAL, LITTLE OR NO SUMMER WATER (AVERAGE WUCOLS PLANT FACTOR 0.3) FOR 100% OF THE PLANT AREA EXCLUDING EDIBLES AND AREAS USING RECYCLED WATER.  
 MULCH: A MINIMUM 3-INCH LAYER OF MULCH SHOULD BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS, EXCEPT IN AREAS OF TURF OR CREEPING OR ROOTING GROUNDCOVERS.  
 TURF: TOTAL TURF AREA SHALL NOT EXCEED 25% OF THE LANDSCAPE AREA. TURF IS NOT ALLOWED IN NON-RESIDENTIAL PROJECTS. TURF (IF UTILIZED) IS LIMITED TO SLOPES NOT EXCEEDING 25% AND IS NOT USED IN PARKWAYS LESS THAN 10 FEET IN WIDTH. TURF, IF UTILIZED IN PARKWAYS IS IRRIGATED BY SUB-SURFACE IRRIGATION OR OTHER TECHNOLOGY THAT PREVENTS OVERSPRAY OR RUNOFF. TURF IS NOT ALLOWED IN NON-RESIDENTIAL PROJECTS.  
 LANDSCAPE WATER METER REQUI

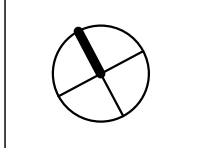
PROJECT:  
**Bobak Bakhtiari residence (v4.1)**  
 AAA PROJECT CODE:21B0B  
 Vacant lots, 2nd Street, Montara, County of San Mateo, California

**ANDERSON ANDERSON ARCHITECTURE**  
 90 TEHAMA STREET  
 SAN FRANCISCO, CALIFORNIA 94105  
 T 415.243.9500  
 F 415.520.9522

**PRELIMINARY**  
 NOT FOR CONSTRUCTION

DATE: 11/14/23  
 PHASE: PLANNING DR  
 PREPARED BY: AO

#	REVISION ISSUE	DATE
1	2nd submittal planning review	07/14/2023
2	3rd submittal planning review	10/05/2023
3	4TH submittal planning DR	11/13/2023



TOTAL SF:  
 KEY PLAN:

**SITE PLAN**  
**A 1.2**  
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SHEET PRINTED:  
 11/14/2023 3:58:42 PM

MAP OF A RESUBDIVISION OF ALL OF FARALLONE CITY  
 BOOK 6 MAPS 2  
 BLOCK 7



ANDERSON ANDERSON ARCHITECTURE

90 TEHAMA STREET  
 SAN FRANCISCO, CALIFORNIA 94105  
 T 415.243.9500  
 F 415.520.9522

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 NOT FOR CONSTRUCTION

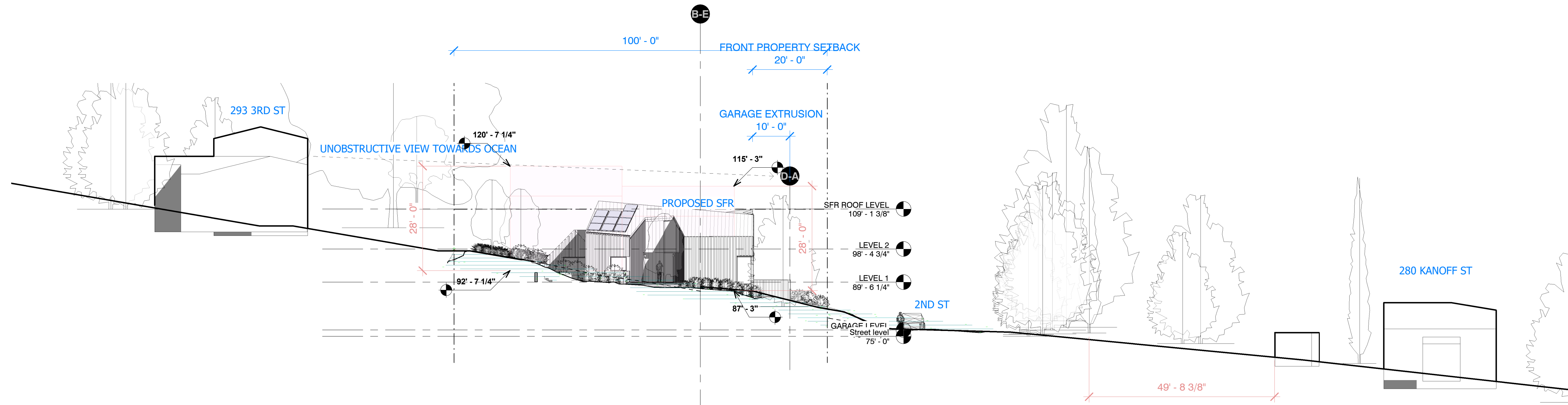
DATE: 02/27/24  
 PHASE: PLANNING DR  
 PREPARED BY: AO

#	REVISION	ISSUE	DATE
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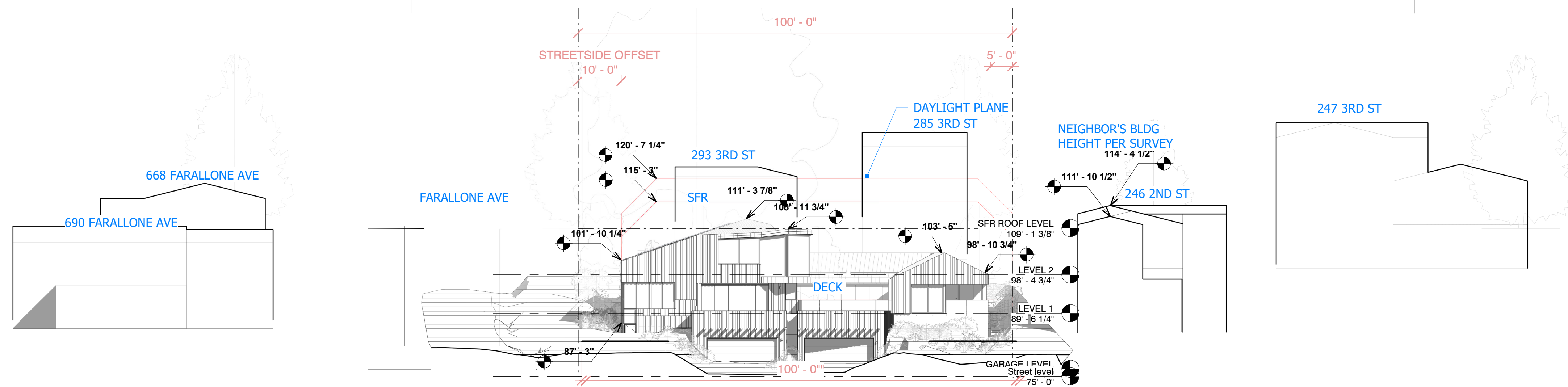
TOTAL SF:  
 KEY PLAN:

STREET  
 ELEVATION

**A 1.3**



1 STREET ELEVATION FALLON ST  
 1/16" = 1'-0"



2 SITE ELEVATION NORTH ELEVATION  
 1/16" = 1'-0"



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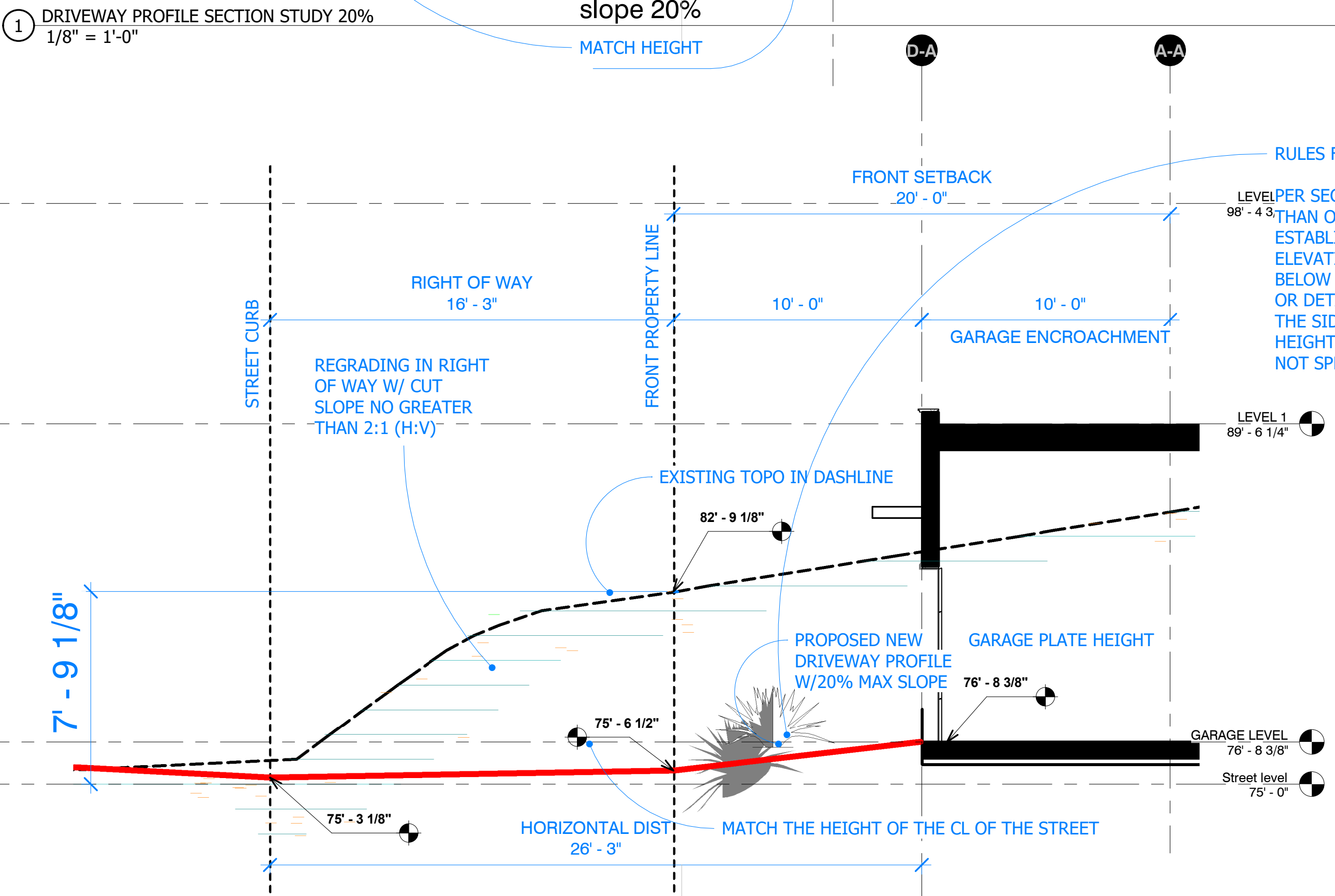
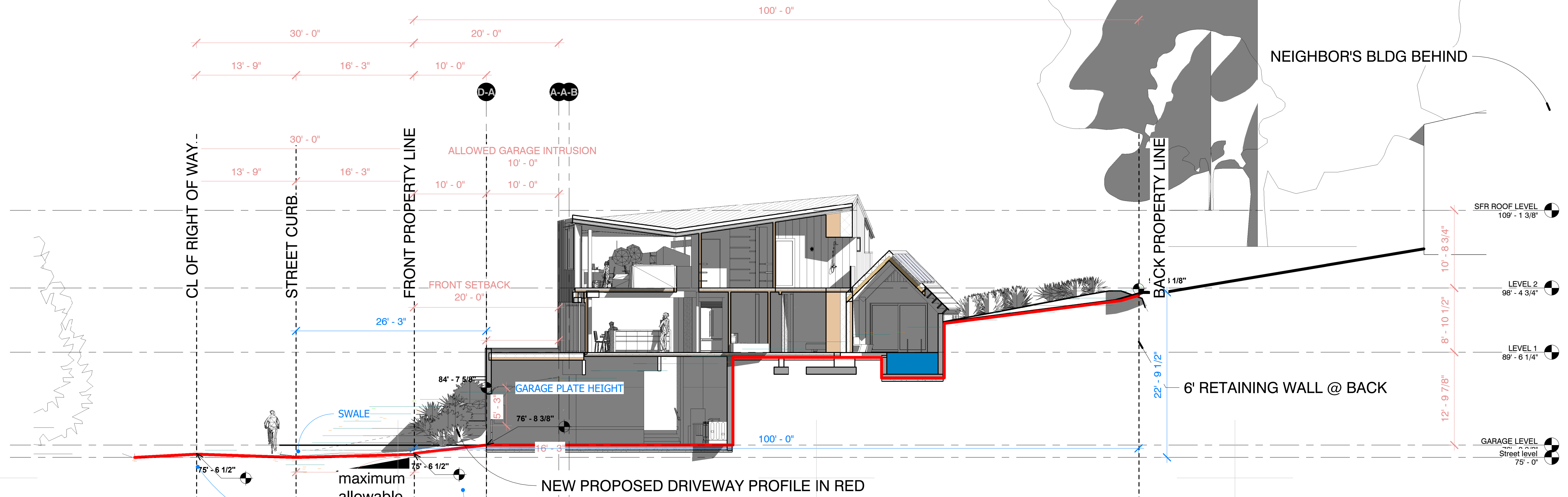
DATE: 02/27/24  
 PHASE: PLANNING DR  
 PREPARED BY: Author

#	REVISION	ISSUE	DATE
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TOTAL SF:  
 KEY PLAN:

DRIVEWAY  
 SECTION STUDY

**A 1.4**



**RULES FOR GARAGE ENCROACHMENT:**  
 PER SECTION 6411, WHERE THE SLOPE OF THE FRONT HALF OF THE LOT IS GREATER THAN ONE (1) FOOT RISE OR FALL IN A DISTANCE OF SEVEN (7) FEET FROM THE ESTABLISHED STREET ELEVATION AT THE PROPERTY LINE, OR WHERE THE ELEVATION OF THE LOT AT THE STREET LINE IS FIVE (5) FEET OR MORE ABOVE OR BELOW THE ESTABLISHED STREET ELEVATION, A GARAGE OR CARPORT, ATTACHED OR DETACHED, MAY BE BUILT TO THE FRONT LOT LINE. SUCH GARAGE SHALL HOLD THE SIDE YARD SETBACKS REQUIRED FOR THE MAIN BUILDING AND A MAXIMUM HEIGHT SPECIFIED FOR SUCH CARPORTS AND GARAGES BY THE DISTRICT, OR WHEN NOT SPECIFIED BY THE DISTRICT, A MAXIMUM HEIGHT OF 28 FEET.

PROJECT:  
**Bobak Bakhtiari residence (v4.1)**  
AAA PROJECT CODE: **21BOB**

Vacant lots, 2nd Street, Montara,  
County of San Mateo, California



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SAN FRANCISCO, CALIFORNIA 94105

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**PRELIMINARY**  
NOT FOR CONSTRUCTION

DATE: 02/27/24  
PHASE: PLANNING DR  
PREPARED BY: Author

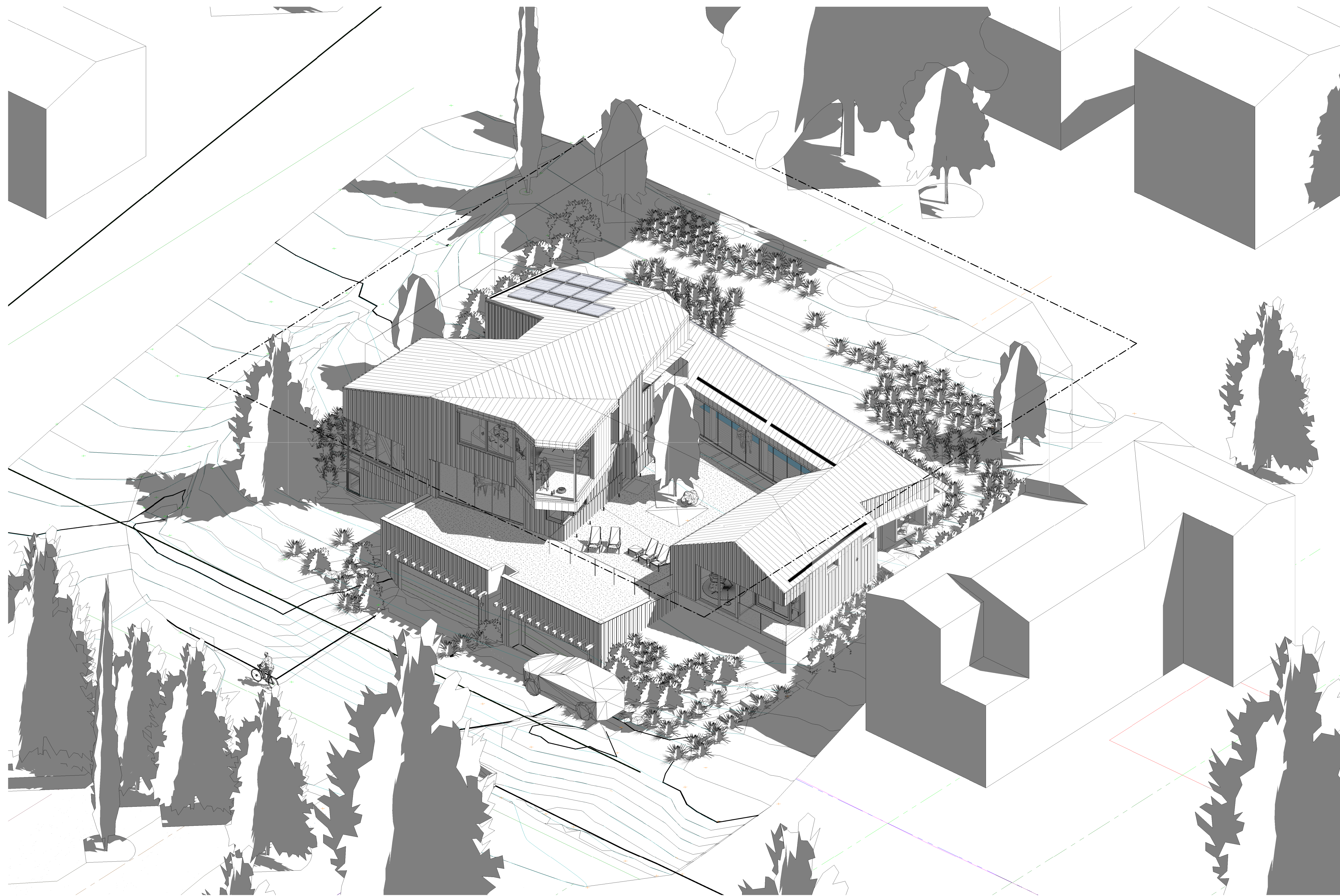
#	REVISION	ISSUE	DATE
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TOTAL SF:  
KEY PLAN:

SITE AXON

A 1.6

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PROJECT:  
**Bobak Bakhtiari  
 residence (v4.1)**  
 AAA PROJECT CODE: **21BOB**

Vacant lots, 2nd Street, Montara,  
 County of San Mateo, California



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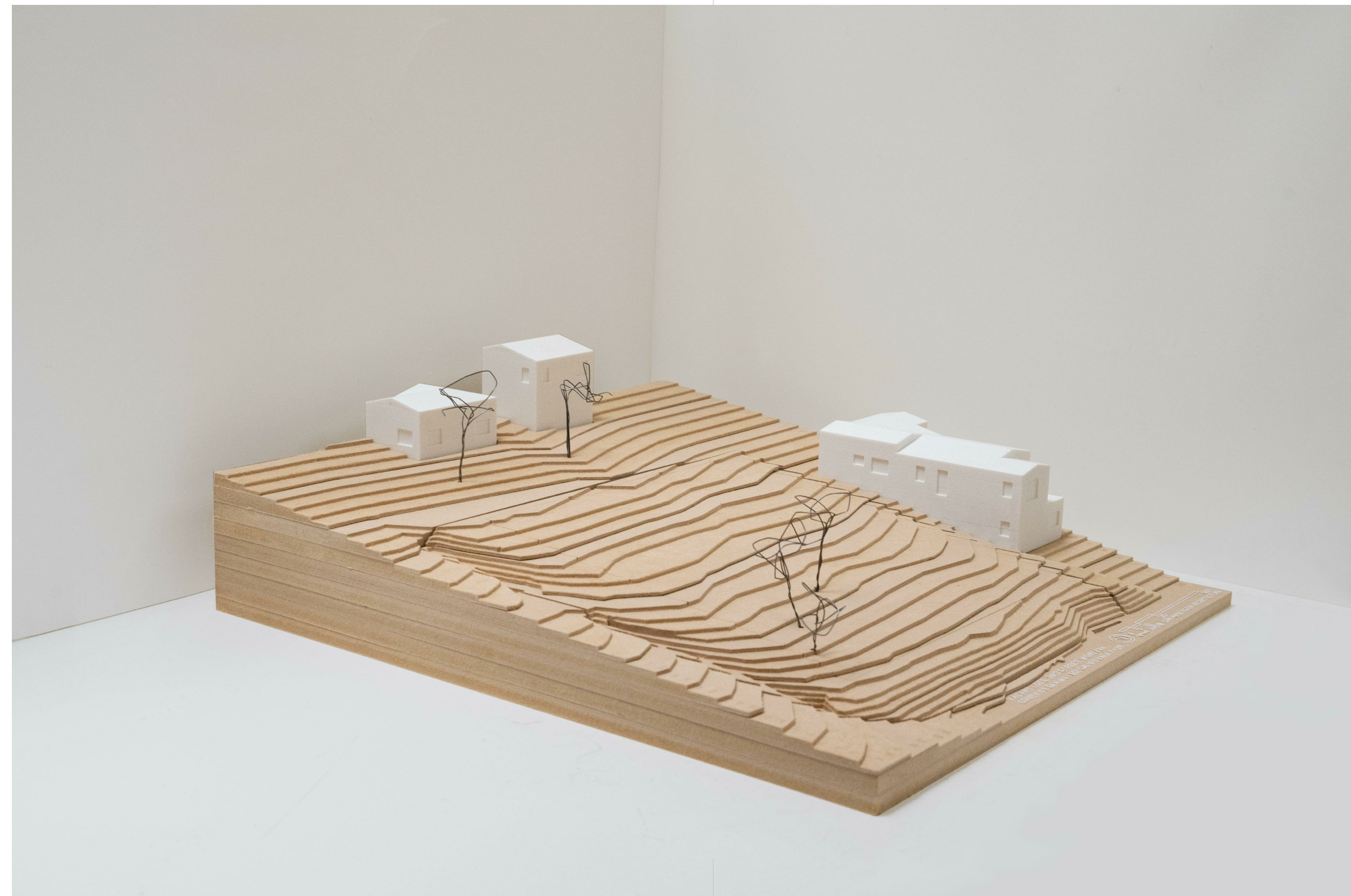
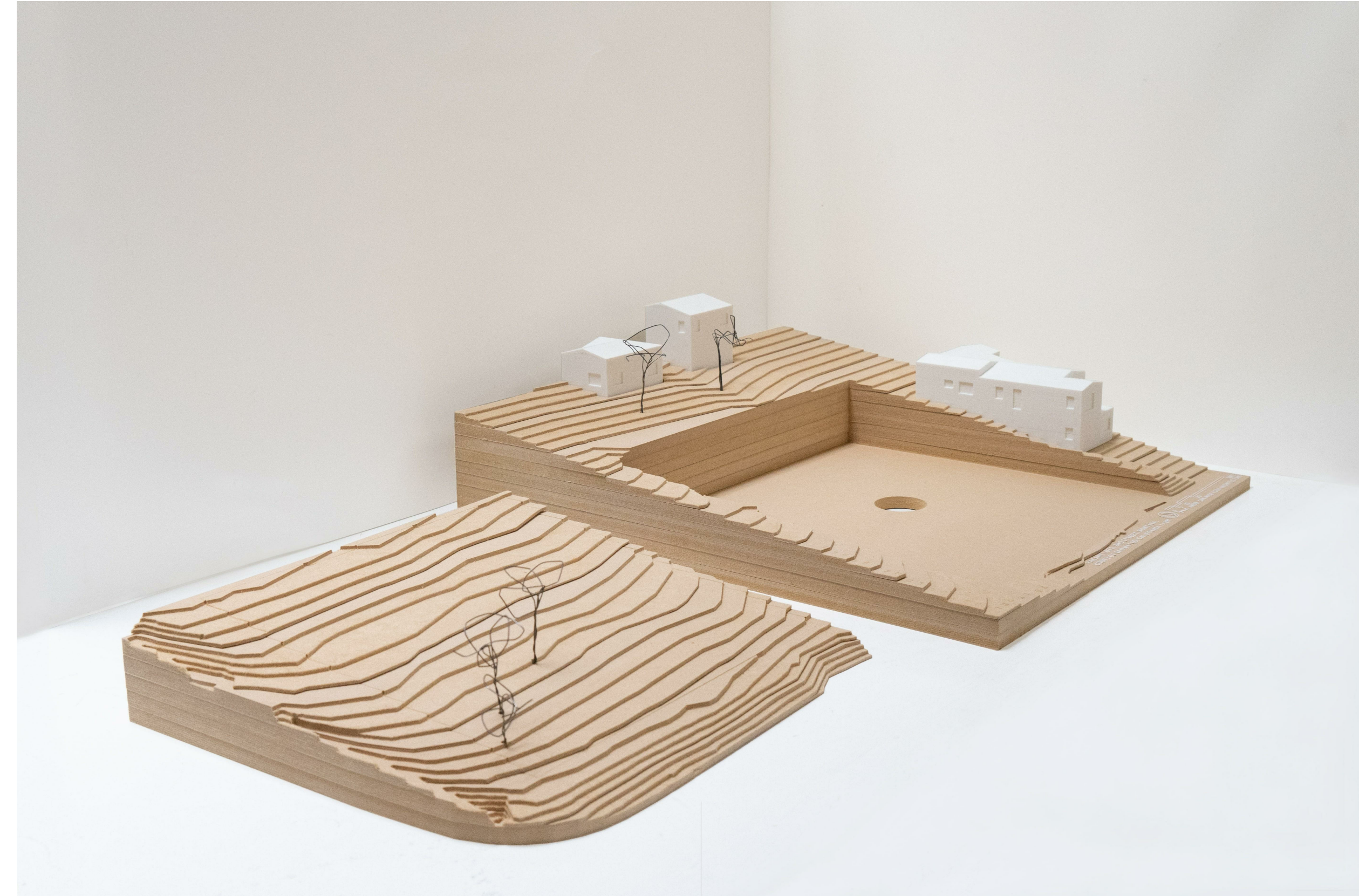
DATE: 08/10/23  
 PHASE: DR PRE-APPROVAL  
 PREPARED BY: Author

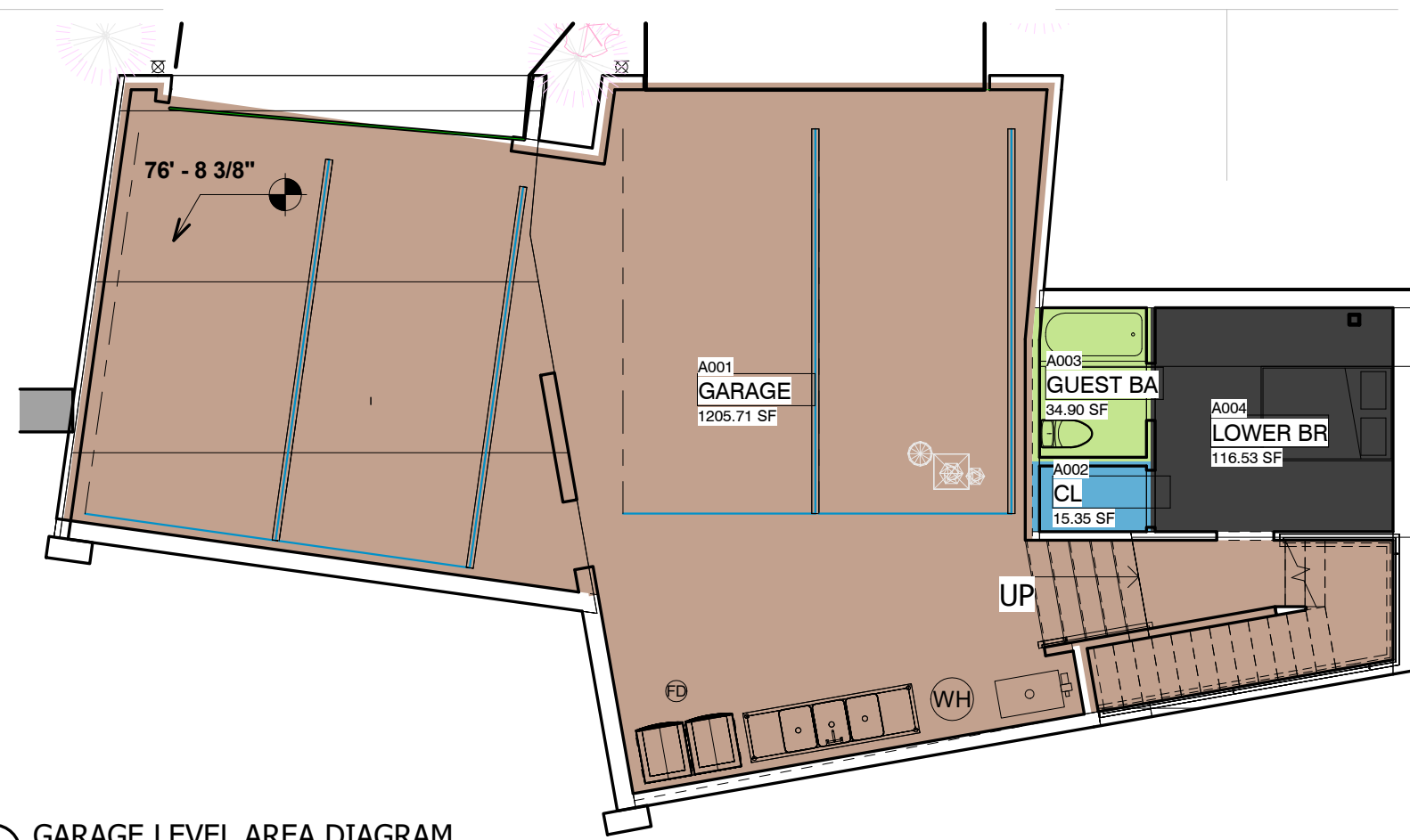
#	REVISION	ISSUE	DATE
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TOTAL SF:  
 KEY PLAN:

**CURRENT  
 PHYSICAL MODEL  
 PHOTOS  
 A 1.8**

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### ROOM SCHEDULE

- CL
- GARAGE
- GUEST BA
- LOWER BR

2 GARAGE LEVEL AREA DIAGRAM  
1/8" = 1'-0"

ENCLOSED ROOM SCHEDULE				
Name	Number	Level	Comments	Area
GUEST SUITE				
POOL/GUEST SUITE BA	A005	LEVEL 1	GUEST SUITE	34.63 SF
OUTDOOR BALCONY	A006	LEVEL 1	GUEST SUITE	47.07 SF
GUEST SUITE	A013	LEVEL 1	GUEST SUITE	310.47 SF
GUEST ENTRY	A017	LEVEL 1	GUEST SUITE	45.70 SF
GUEST SUITE: 4				437.87 SF
INDOOR POOL				
MULTI-PURPOSE RM	A015	LEVEL 1	INDOOR POOL	725.34 SF
INDOOR POOL: 1				725.34 SF
SFR				
GARAGE	A001	GARAGE LEVEL	SFR	1205.71 SF
CL	A002	GARAGE LEVEL	SFR	15.35 SF
GUEST BA	A003	GARAGE LEVEL	SFR	34.90 SF
LOWER BR	A004	GARAGE LEVEL	SFR	116.53 SF
BR 02 CL	A008	LEVEL 1	SFR	14.07 SF

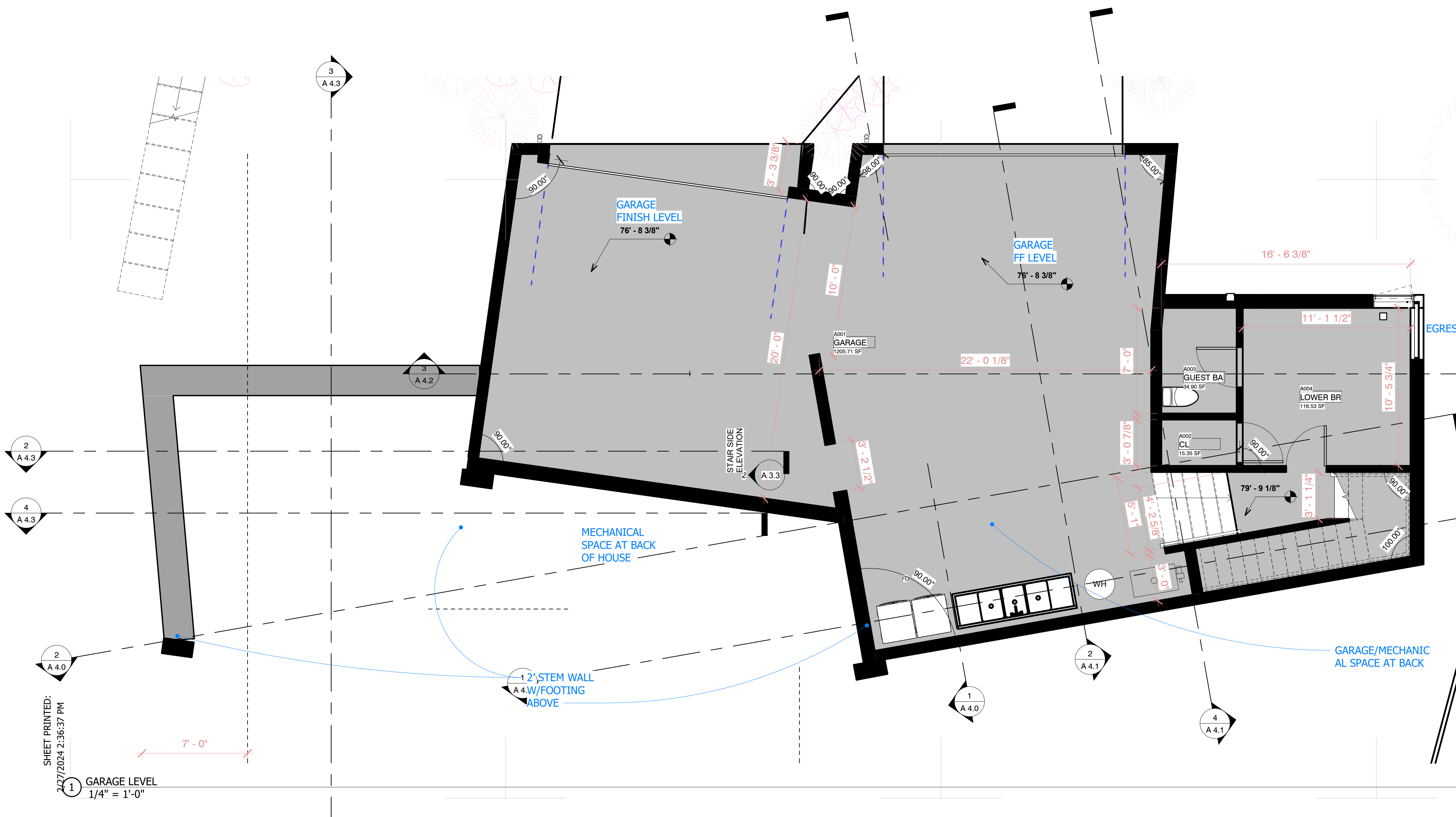
ENCLOSED ROOM SCHEDULE				
Name	Number	Level	Comments	Area
POOL STORAGE	A009	LEVEL 1	SFR	11.52 SF
PANTRY	A010	LEVEL 1	SFR	26.78 SF
BR 01 CLOSET	A011	LEVEL 1	SFR	11.09 SF
ENTRY CL	A012	LEVEL 1	SFR	13.81 SF
ENTRY LOBBY	A101	LEVEL 1	SFR	146.93 SF
THE GREAT ROOM	A102	LEVEL 1	SFR	649.61 SF
BR 01	A103	LEVEL 1	SFR	132.75 SF
BA 01	A104	LEVEL 1	SFR	56.06 SF
BR 02	A105	LEVEL 1	SFR	108.87 SF
MASTER BR	A201	LEVEL 2	SFR	301.57 SF
MASTER BA	A202	LEVEL 2	SFR	95.07 SF
MASTER CL + DRESSING RM	A203	LEVEL 2	SFR	114.31 SF
EXTERIOR DECK	A205	LEVEL 2	SFR	46.29 SF
STORAGE LOFT	A206	LEVEL 2	SFR	74.18 SF
SFR: 19				3175.40 SF
Grand total: 24				4338.60 SF

PROJECT:  
**Bobak Bakhtiari residence (v4.1)**  
AAA PROJECT CODE:21BOB

Vacant lots, 2nd Street, Montara, County of San Mateo, California

**ANDERSON ANDERSON ARCHITECTURE**  
90 TEHAMA STREET  
SAN FRANCISCO, CALIFORNIA 94105  
T 415.243.9500  
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NOT FOR CONSTRUCTION



### FLOOR PLAN NOTES

NOTE: THE CONSTRUCTION SHALL KEEP FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL-BOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOK-UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES- WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.

NOTE: PROVIDE 70 INCH HIGH NON-ABSORBENT WALL ADJACENT TO SHOWER AND APPROVED SHATTER-RESISTANT MATERIAL FOR SHOWER ENCLOSURE.

NOTE: PROVIDE ULTRA FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION.

NOTE: PROVIDE MATERIALS OF ONE-HOUR FIRE-RESISTIVE CONSTRUCTION ON THE GARAGE SIDE FOR WALLS AND WHEN SUPPORTING AN UPPER FLOOR, CEILINGS, POSTS AND BEAM OF GARAGE.

NOTE: SEE ARCHITECTURAL DOOR SCHEDULE AND ARCHITECTURAL WINDOW SCHEDULE FOR ALL SAFETY AND SECURITY SPECIFICATIONS.

NOTE: DOORS TO BE SELF-CLOSING, 1-3/4" SOLID WOOD CORE OR 20-MINUTE RATED DOOR ASSEMBLY.

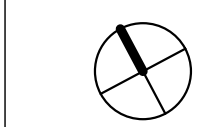
NOTE: ALL SURFACES, ON LOWER LEVEL, OF WALLS, CEILINGS, UNDER STAIRS, MECHANICAL ROOMS, UNFINISHED SPACE WALLS AND CEILINGS, FURRED WALLS AND ANY OTHER OTHERWISE EXPOSED ROUGH FRAMING IS TO BE SHEATHED IN 5/8" TYPE-X GWB AND AT MINIMUM FIRE-TAPED AND FIRE-CAULKED. THE ONLY EXCEPTION IS EXPOSED FINISH BEAMS, COLUMNS, MULLIONS, AND OTHER SUCH VISIBLE DESIGN COMPONENTS AS NOTED. CBC 1009.5.3.

NOTE: EGRESS DOOR TO MEET REQUIREMENTS OF 2019 IRC; SEE ARCHITECTURAL DOOR SCHEDULE FOR COMPLIANCE.

NOTE: ALL ROOM AREAS UNLESS OTHERWISE NOTED ON PLAN ARE FINISHED AREAS.

DATE: 02/27/24  
PHASE: PLANNING DR  
PREPARED BY: Author

#	REVISION	ISSUE	DATE
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TOTAL SF:  
KEY PLAN:

### GARAGE LEVEL

**A 2.1**

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1 GARAGE LEVEL  
1/4" = 1'-0"

# ROOM SCHEDULE

- BA 01
- BR 01
- BR 01 CLOSET
- BR 02
- BR 02 CL
- ENTRY CL
- ENTRY LOBBY
- GUEST ENTRY
- GUEST SUITE
- LOWER BR
- MULTI-PURPOSE RM
- OUTDOOR BALCONY
- PANTRY
- POOL STORAGE
- POOL/GUEST SUITE BA
- THE GREAT ROOM

ENCLOSED ROOM SCHEDULE				
Name	Number	Level	Comments	Area
GUEST SUITE				
POOL/GUEST SUITE BA	A005	LEVEL 1	GUEST SUITE	34.63 SF
OUTDOOR BALCONY	A006	LEVEL 1	GUEST SUITE	47.07 SF
GUEST SUITE	A013	LEVEL 1	GUEST SUITE	310.47 SF
GUEST ENTRY	A017	LEVEL 1	GUEST SUITE	45.70 SF
GUEST SUITE: 4				437.87 SF
INDOOR POOL				
MULTI-PURPOSE RM	A015	LEVEL 1	INDOOR POOL	725.34 SF
INDOOR POOL: 1				725.34 SF
SFR				
GARAGE	A001	GARAGE LEVEL	SFR	1205.71 SF
CL	A002	GARAGE LEVEL	SFR	15.35 SF
GUEST BA	A003	GARAGE LEVEL	SFR	34.90 SF
LOWER BR	A004	GARAGE LEVEL	SFR	116.53 SF
BR 02 CL	A008	LEVEL 1	SFR	14.07 SF

ENCLOSED ROOM SCHEDULE				
Name	Number	Level	Comments	Area
POOL STORAGE	A009	LEVEL 1	SFR	11.52 SF
PANTRY	A010	LEVEL 1	SFR	26.78 SF
BR 01 CLOSET	A011	LEVEL 1	SFR	11.09 SF
ENTRY CL	A012	LEVEL 1	SFR	13.81 SF
ENTRY LOBBY	A101	LEVEL 1	SFR	146.93 SF
THE GREAT ROOM	A102	LEVEL 1	SFR	649.61 SF
BR 01	A103	LEVEL 1	SFR	132.75 SF
BA 01	A104	LEVEL 1	SFR	56.06 SF
BR 02	A105	LEVEL 1	SFR	108.87 SF
MASTER BR	A201	LEVEL 2	SFR	301.57 SF
MASTER BA	A202	LEVEL 2	SFR	95.07 SF
MASTER CL + DRESSING RM	A203	LEVEL 2	SFR	114.31 SF
EXTERIOR DECK	A205	LEVEL 2	SFR	46.29 SF
STORAGE LOFT	A206	LEVEL 2	SFR	74.18 SF
SFR: 19				3175.40 SF
Grand total: 24				4338.60 SF

PROJECT: **Bobak Bakhtiari residence (v4.1)**  
 AAA PROJECT CODE: **21BOB**  
 Vacant lots, 2nd Street, Montara, County of San Mateo, California

ANDERSON ANDERSON ARCHITECTURE  
 90 TEHAMA STREET  
 SAN FRANCISCO, CALIFORNIA 94105  
 T 415.243.9500  
 F 415.520.9522

**PRELIMINARY**  
 NOT FOR CONSTRUCTION

DATE: 02/27/24  
 PHASE: PLANNING DR  
 PREPARED BY: Author

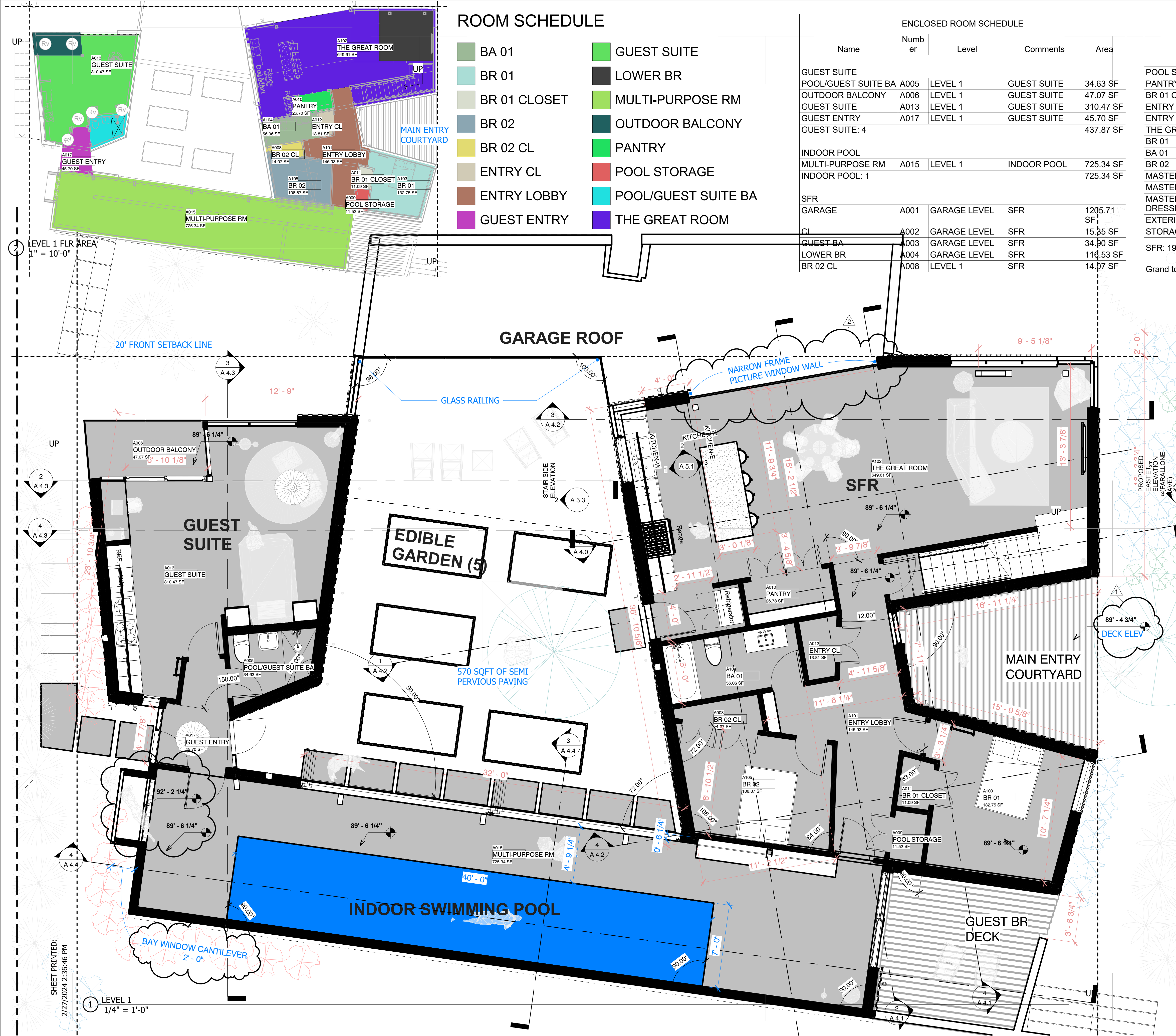
#	REVISION ISSUE	DATE
1	2nd submittal planning review	07/14/2023
2	3rd submittal planning review	10/05/2023

TOTAL SF:  
 KEY PLAN:

FLR PLAN LV 1

A 2.2

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## FLOOR PLAN NOTES

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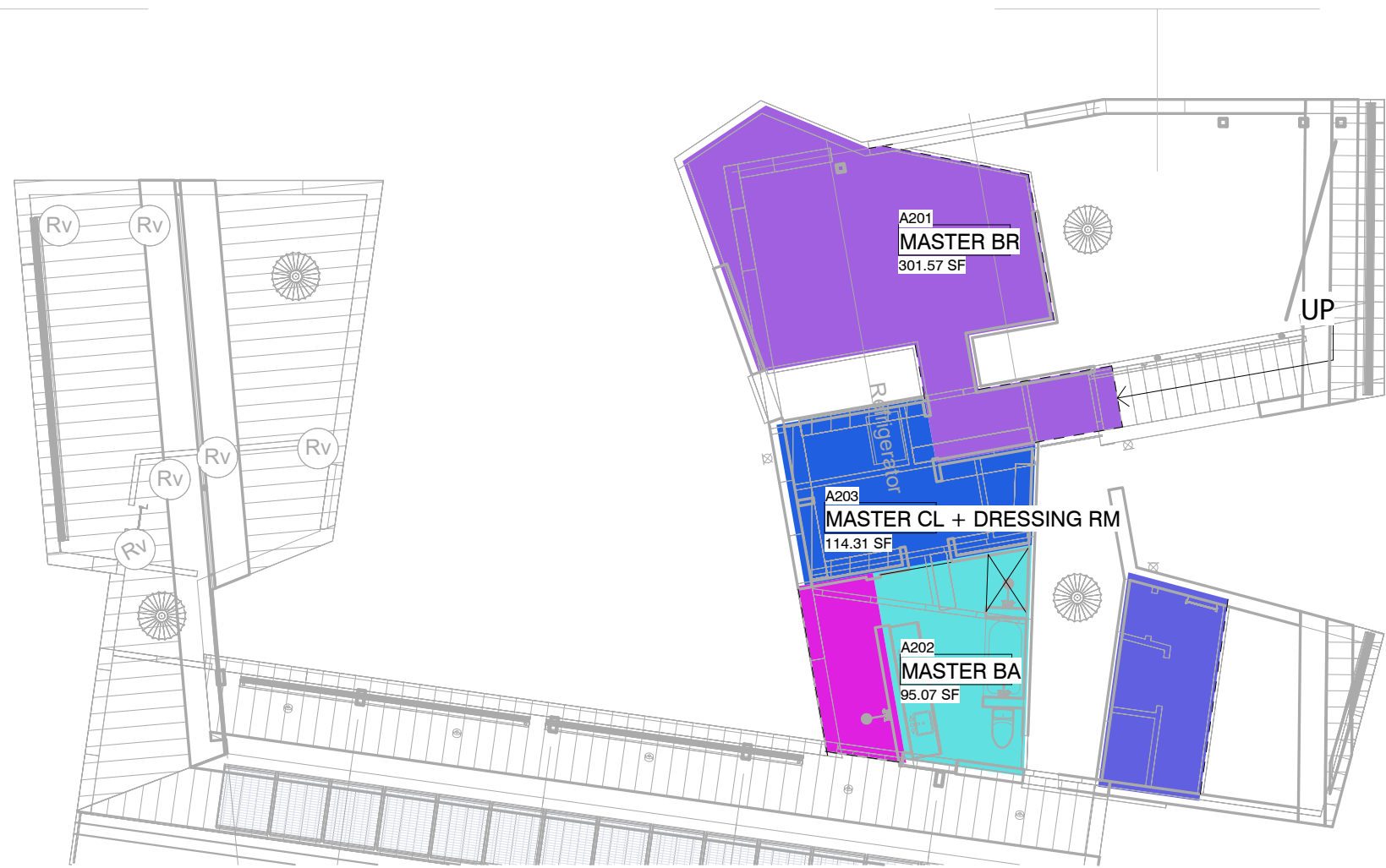
NOTE: EGRESS DOOR TO MEET REQUIREMENTS OF 2019 IRC; SEE ARCHITECTURAL DOOR SCHEDULE FOR COMPLIANCE.

NOTE: ALL ROOM AREAS UNLESS OTHERWISE NOTED ON PLAN ARE FINISHED AREAS.

LEVEL 1 FLR AREA  
 1" = 10'-0"

LEVEL 1  
 1/4" = 1'-0"

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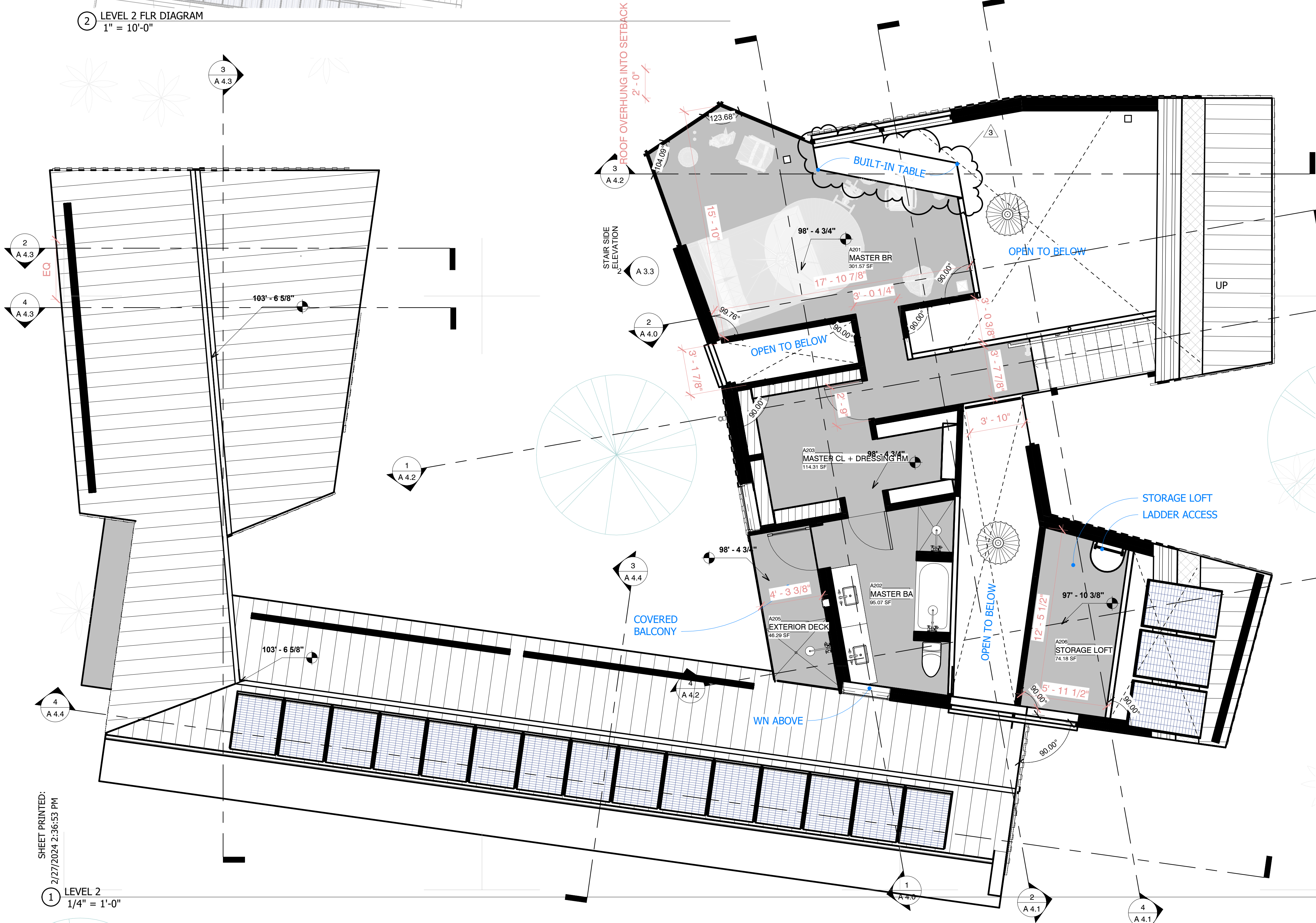
2 LEVEL 2 FLR DIAGRAM  
1" = 10'-0"

### ROOM SCHEDULE

- EXTERIOR DECK
- MASTER BA
- MASTER BR
- MASTER CL + DRESSING RM
- STORAGE LOFT

ENCLOSED ROOM SCHEDULE				
Name	Number	Level	Comments	Area
GUEST SUITE				
POOL/GUEST SUITE BA	A005	LEVEL 1	GUEST SUITE	34.63 SF
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STORAGE LOFT	A206	LEVEL 2	SFR	74.18 SF
SFR: 19				3175.40 SF
Grand total: 24				4338.60 SF



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1 LEVEL 2  
1/4" = 1'-0"

### FLOOR PLAN NOTES

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### INT GENERAL FINISH NOTES

NOTE: ALL MATERIALS ARE TO BE SAMPLED AND APPROVED BY ARCHITECT BEFORE APPLICATION/INSTALLATION.

NOTE: SEE DETAILS OR ARCHITECT FOR APPROVAL ON ALL MATERIAL TRANSITIONS AND THRESHOLDS.

NOTE: ALL WALLS AND CEILINGS IN STORAGE, UTILITY AND MECHANICAL AREAS ARE TO BE COVERED WITH 5/8" TYPE-X GWB.

NOTE: INSTALL SOLID 2X12 OR SIMILAR BACKING CONTINUOUSLY AROUND ENTIRE BATHROOM WALL AT 36" TO CENTER ABOVE FINISH FLOOR TO PROVIDE BACKING FOR GRAB BARS, TOWEL BARS AND HARDWARE

PROJECT:  
**Bobak Bakhtiari residence (v4.1)**  
AAA PROJECT CODE: 21BOB

Vacant lots, 2nd Street, Montara, County of San Mateo, California

**ANDERSON ANDERSON ARCHITECTURE**

90 TEHAMA STREET  
SAN FRANCISCO, CALIFORNIA 94105  
T 415.243.9500  
F 415.520.9522

**PRELIMINARY**  
NOT FOR CONSTRUCTION

DATE: 02/27/24  
PHASE: PLANNING DR  
PREPARED BY: Author

#	REVISION	ISSUE	DATE
3	4TH submittal	planning DR	11/13/2023

TOTAL SF:  
KEY PLAN:

FLR PLAN LV 2

**A 2.3**

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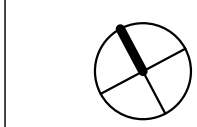




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DATE: 02/27/24  
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 PREPARED BY: Author

#	REVISION	ISSUE	DATE



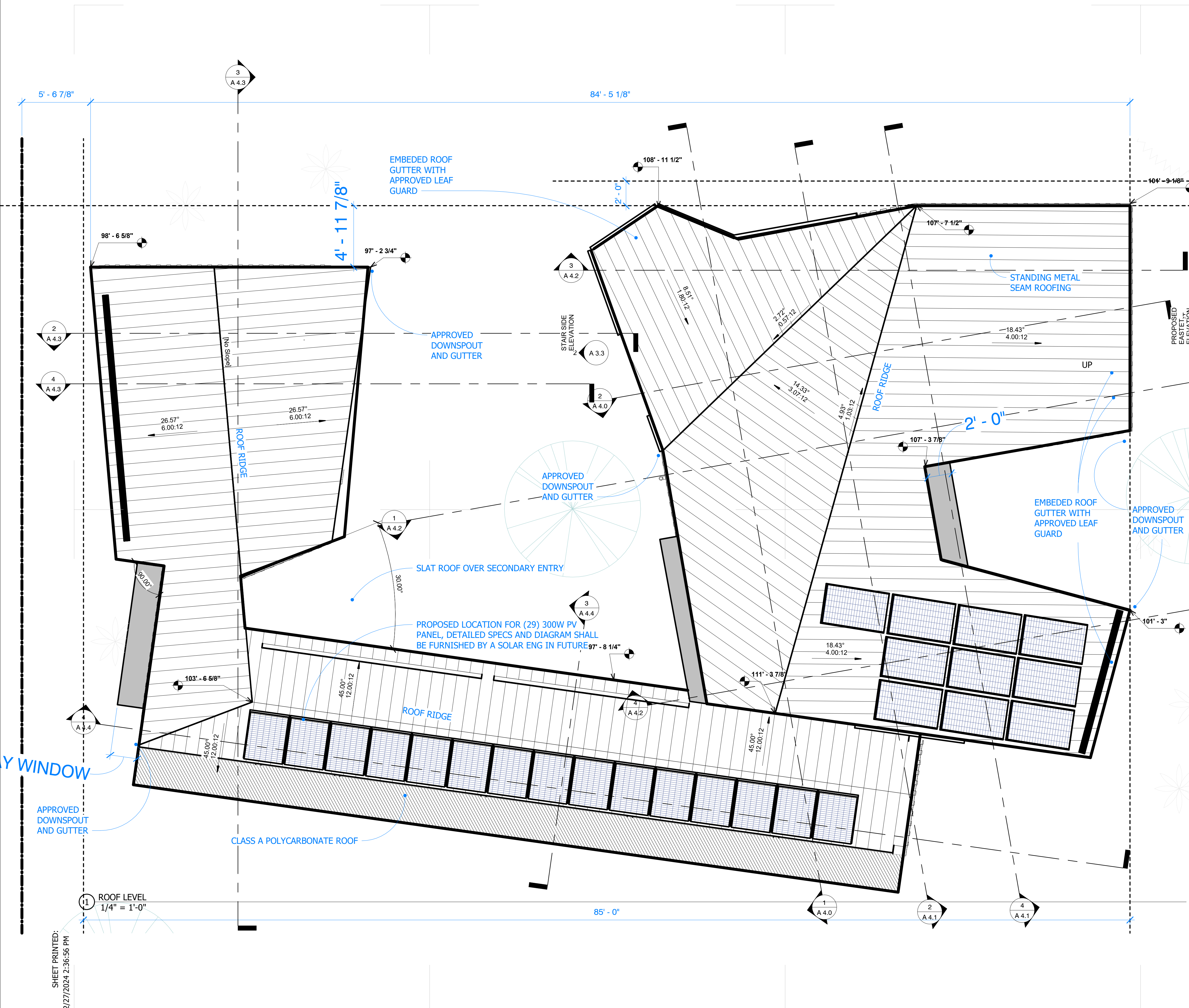
TOTAL SF:  
 KEY PLAN:

**ROOF PLAN**

**A 2.4**

**ROOF PLAN NOTES**

- ALL PLANTED ROOFS TO HAVE SPECIFIED SLOPE NOT LESS THAN A MINIMUM 1" PER FOOT SLOPE TO DRAIN.
- POLYGAL UMBRELLA ROOF TO HAVE A MINIMUM OF 1" PER FOOT SLOPE.
- ALL ROOF MEMBRANES TO BE APPROVED GRAY COLOR, CLASS-A FIRE RESISTANT SINGLE PLY MEMBRANE INSTALLED TO MANUFACTURER'S SPECIFICATIONS.
- ALL DRAINS AND ROOF ACCESSORIES SHALL BE SUPPLIED BY OR APPROVED BY OR MEET ROOFING MANUFACTURER'S SPECIFICATIONS.
- ROOF DRAINS SHALL BE SUFFICIENT IN SIZE AND NUMBER AND IN OVERFLOW CONFIGURATION TO CONFORM TO ALL APPLICABLE CODES.
- ROOF DRAINS SHALL BE FITTED WITH APPROVED LEAF AND DEBRIS GUARDS.
- ALL ROOF PENETRATIONS, INCLUDING ROOF JACKS, PLUMBING BOOTS, CHIMNEY COLLARS, VENTS, AND SIMILAR EQUIPMENT SHALL BE SUPPLIED BY AND OR APPROVED BY AND MEET ROOFING MANUFACTURER'S SPECIFICATIONS AND INSTALLATION INSTRUCTIONS.
- ALL DOWNSPOUTS SHALL HAVE APPROVED OVERFLOW SYSTEM.
- ALL ROOF DRAINS SHALL BE LED TO BELOW GRADE SOLID PVC, SCHEDULE 40 PIPING SYSTEMS, SEPARATE FROM FOOTING DRAINS, AND DISCHARGED TO APPROVED LOCATIONS.
- COURTYARD AND CARPORT ROOF TO COMPLY WITH REVISED CHAPTER 7A OF BBC 704A.5, BMC SECTION 19.28.050. POLYCARBONATE ROOF SHEATHING TO CONFORM TO CHAPTER 7A REQUIREMENTS SUCH AS CLASS "A" ROOFING. FRAMING TO BE TREATED WITH IGNITION-RESISTANT AND NONCOMBUSTIBLE MATERIALS.
- LAP ROOFING, FLASHING AND MEMBRANE SUB-FLASHING TO OUTSIDE OF SIDING. FLASH WITH 24GA. FLASHING CAP TO MATCH METAL ROOFING.
- USE SELF-ADHERING, SELF-RESEALING SUBFLASHING OR APPROVED SUBSTITUTE AS A LAPPED, WATERPROOF LAYER BELOW METAL ROOF AND FLASHING COMPONENTS, AND AT ROOF AND WALL PENETRATIONS LAPS, AND SEAMS. EXCEPT AS SPECIFIED USE ROOFING AND FLASHING COMPONENTS BY ROOFING MANUFACTURER.
- IN ALL ROOFING COMPONENTS USE ACCESSORIES AND PENETRATIONS SUPPLIED BY OR APPROVED BY MANUFACTURER. FOLLOW MANUFACTURER INSTALLTION GUIDELINES AND SEALANT SPECIFICATIONS.
- ALL METAL FLASHING COMPONENTS TO HAVE LAPPED CONNECTIONS FOR POSITIVE WATER FLOW NOT DEPENDENT ON SEALANT.
- USE APPROVED HIGH PERFORMANCE SEALANT IN APPLICATION APPROVED BY SEALANT MANUFACTURER AND ROOFING/ FLASHING SYSTEM MANUFACTURER.FOLLOW MANUFACTURER INSTALLATION GUIDELINES AND SEALANT SPECIFICATIONS.
- ROOFING WILL HAVE ATTACHMENT AND PENETRATION OF OPTIONAL PV SYSTEM. USE INSTALLATION COMPONENTS COMPATIBLE WITH ROOFING SYSTEM MANUFACTURER AND INSTALLED PER SPECIFICATIONS OF PV MOUNT MANUFACTURER AND ROOFING MANUFACTURER.
- PROVIDE ADD ALTERNATE PV SYSTEM PANEL RACK ATTACHMENTS AND PV SYSTEM PENETRATION WATERPROOFING TO BE INCLUDED IN ROOFING BID.
- CLT CEILING EXPOSED BELOW: SIZE ROOF FASTENING SCREWS ACCORDINGLY TO NOT PENETRATE THROUGH
- FOLLOW ROOFING AND SOLAR MANUFACTURER'S SPECIFICATION AND DETAILS FOR PV PANEL INSTALLATION



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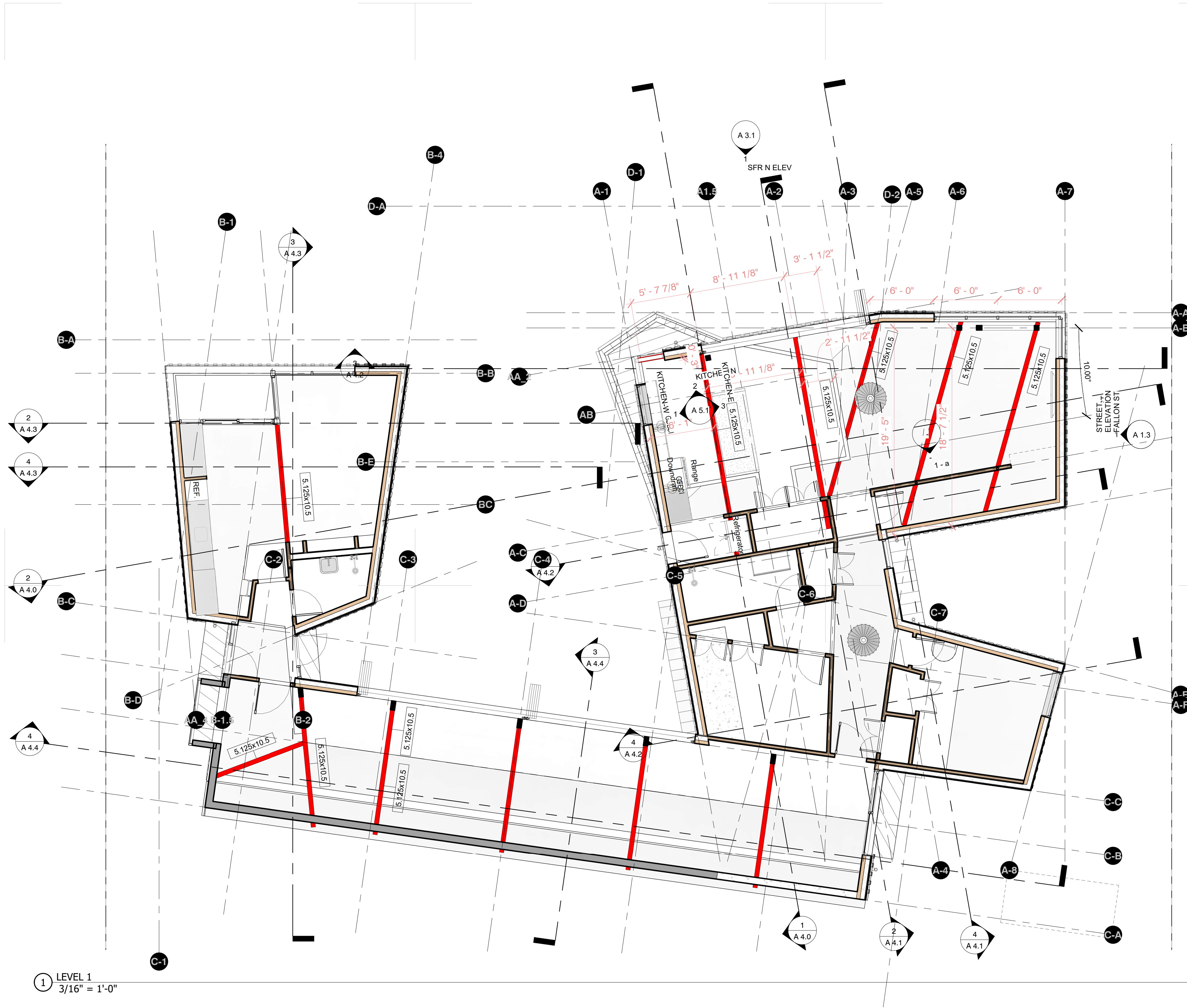
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 PREPARED BY: Author

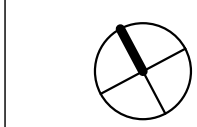
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**RCP GENERAL NOTES**

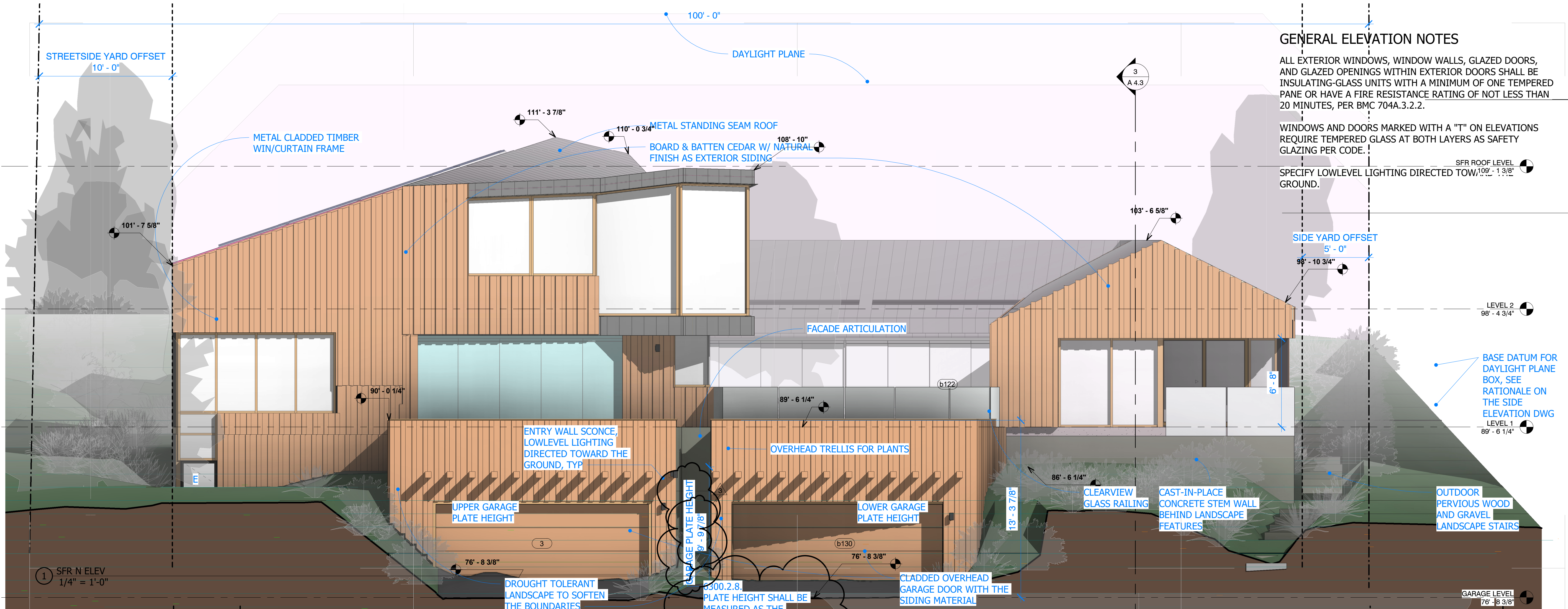
- THE CONTRACTOR SHALL COMPARE THIS REFLECTED CEILING PLAN WITH ELECTRICAL LIGHTING PLANS, MECHANICAL SUPPLY, RETURN, AND EXHAUST PLANS. THE CONTRACTOR SHALL REPORT ANY OMISSIONS OR INCONSISTENCIES TO THE ARCHITECT
- SEE ELECTRICAL DRAWINGS FOR THE LOCATIONS OF CEILING MOUNTED SMOKE DETECTORS, SPEAKERS, EXIT SIGNAGE, AND FIRE ALARM DEVICES, ETC. ALSO SEE ELECTRICAL FOR LOCATIONS OF WALL MOUNTED EXIT LIGHTS
- FOR FURTHER DIMENSIONS SEE LARGE SCALE PLANS, SECTIONS, ELEVATIONS AND DETAILS.
- SPRINKLER HEADS ARE NOT SHOWN ON ARCHITECTURAL REFLECTED CEILING PLANS. CONTRACTOR TO INSTALL SUFFICIENT HEADS IN ALL SPACES TO PROVIDE 100% COVERAGE AS REQUIRED UNDER NFPA 13 AND OWNERS' INSURANCE COMPANIES' REQUIREMENTS. CENTER ALL SPRINKLER HEADS IN CEILING TILES AND GYPSUM BOARD CEILINGS.
- THE CONTRACTOR SHALL VERIFY THAT ACCESS PANELS OF TYPE SPECIFIED ARE INSTALLED IN NON-ACCESSIBLE TYPE CEILING WHERE SERVICE OR ADJUSTMENT TO MECHANICAL, PLUMBING OR ELECTRICAL ITEMS MAY BE REQUIRED. ACCESS PANELS SHALL BE EQUAL TO THE RATING OF THE WALL OR CEILING IN WHICH THEY OCCUR
- 18" MIN VERTICAL CLEARANCE SHALL BE MAINTAINED BETWEEN THE BOTTOM OF THE EXTENDED SPRINKLER HEADS AND THE TOP OF ANY FILES, SHELVING, LOCKERS, ETC



1 LEVEL 1  
 3/16" = 1'-0"



TOTAL SF:  
 KEY PLAN:



**GENERAL ELEVATION NOTES**

ALL EXTERIOR WINDOWS, WINDOW WALLS, GLAZED DOORS, AND GLAZED OPENINGS WITHIN EXTERIOR DOORS SHALL BE INSULATING-GLASS UNITS WITH A MINIMUM OF ONE TEMPERED PANE OR HAVE A FIRE RESISTANCE RATING OF NOT LESS THAN 20 MINUTES, PER BMC 704A.3.2.2.

WINDOWS AND DOORS MARKED WITH A "T" ON ELEVATIONS REQUIRE TEMPERED GLASS AT BOTH LAYERS AS SAFETY GLAZING PER CODE.

SPECIFY LOWLEVEL LIGHTING DIRECTED TOWARD GROUND.

PROJECT:  
**Bobak Bakhtiari residence (v4.1)**  
AAA PROJECT CODE: 21BOB

Vacant lots, 2nd Street, Montara, County of San Mateo, California



ANDERSON ANDERSON ARCHITECTURE  
90 TEHAMA STREET  
SAN FRANCISCO, CALIFORNIA 94105  
T 415.243.9500  
F 415.520.9522

**PRELIMINARY**  
NOT FOR CONSTRUCTION

DATE: 02/27/24  
PHASE: PLANNING DR  
PREPARED BY: Author

#	REVISION	ISSUE	DATE
1	2nd submittal	planning review	07/14/20
			23
3	4TH submittal	planning DR	11/13/20
			23

TOTAL SF:  
KEY PLAN:

**NORTH & SOUTH ELEVATION**

**A 3.1**

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② SFR SOUTH ELEV  
1/4" = 1'-0"

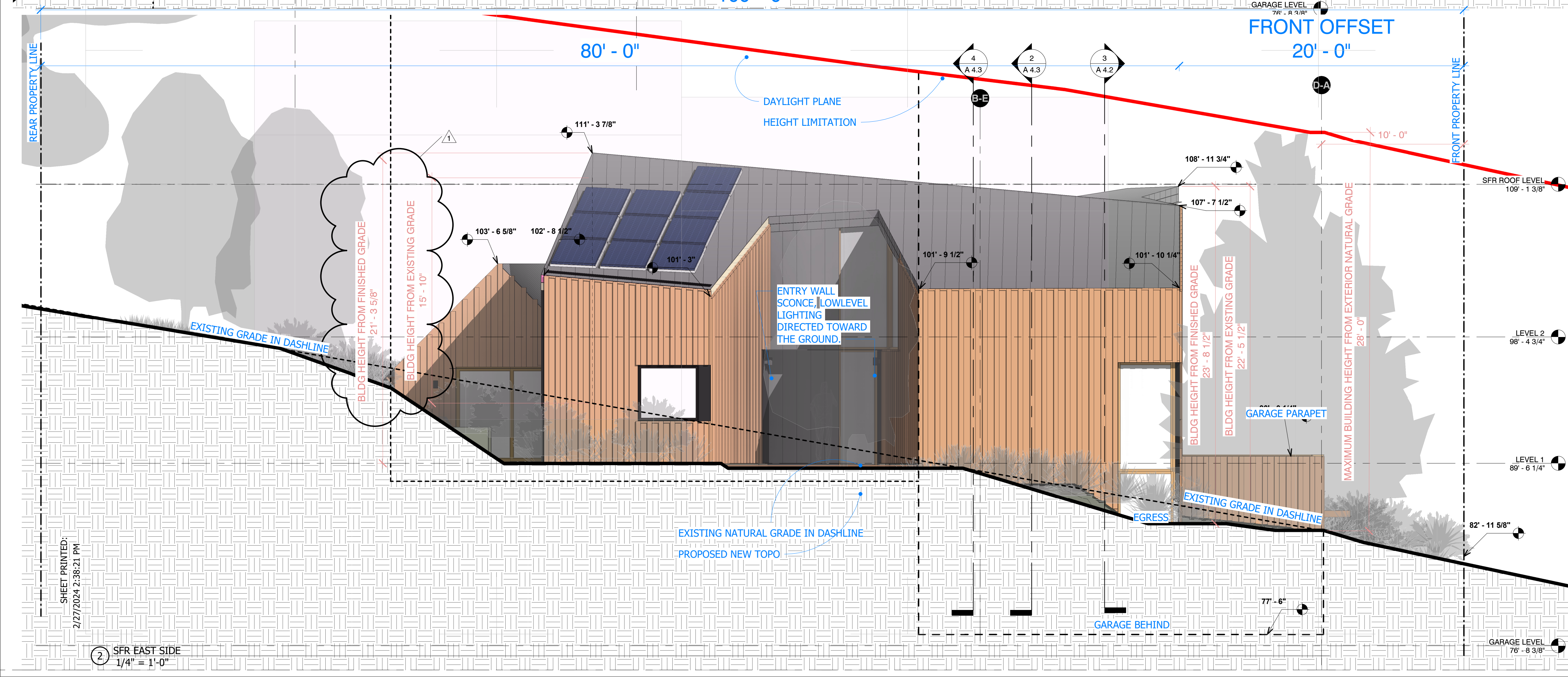
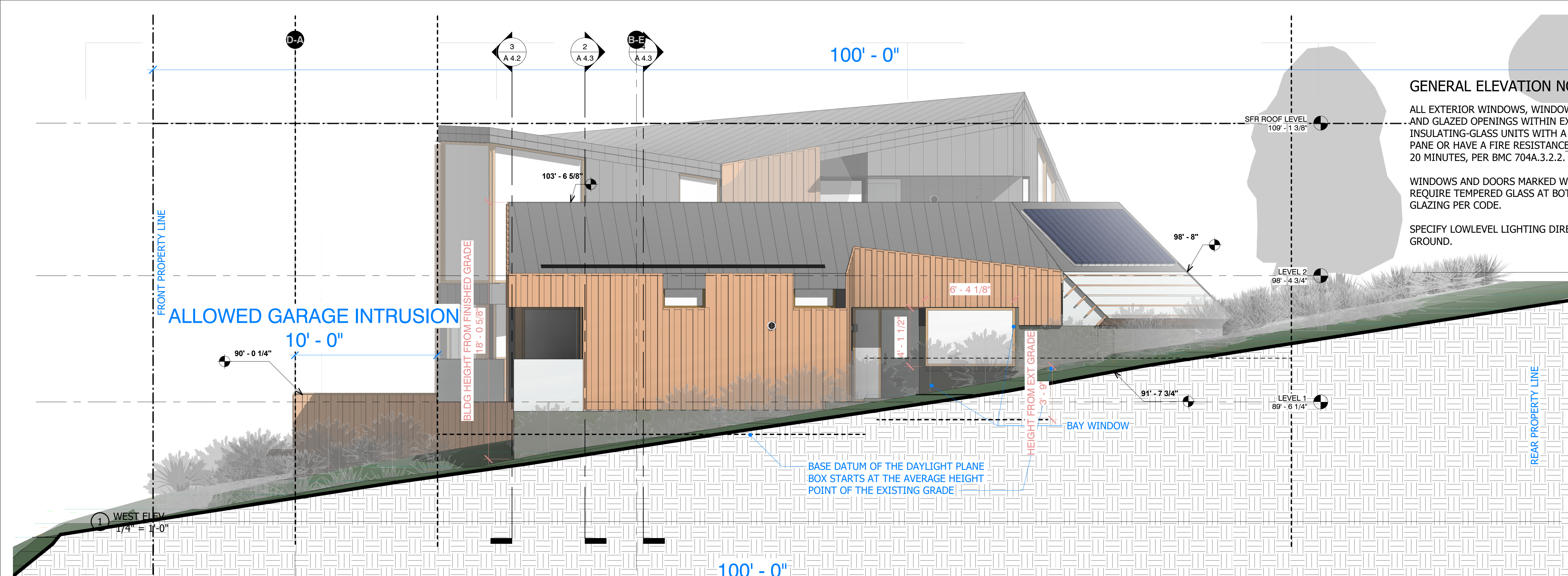
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1	2nd submittal planning review	07/14/2023

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WINDOWS AND DOORS MARKED WITH A "T" ON ELEVATIONS REQUIRE TEMPERED GLASS AT BOTH LAYERS AS SAFETY GLAZING PER CODE.

SPECIFY LOWLEVEL LIGHTING DIRECTED TOWARD THE GROUND.



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② SFR EAST SIDE  
 1/4" = 1'-0"

Street level  
 75' - 0"



ANDERSON ANDERSON ARCHITECTURE

90 TEHAMA STREET  
 SAN FRANCISCO, CALIFORNIA 94105  
 T 415.243.9500  
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**PRELIMINARY**  
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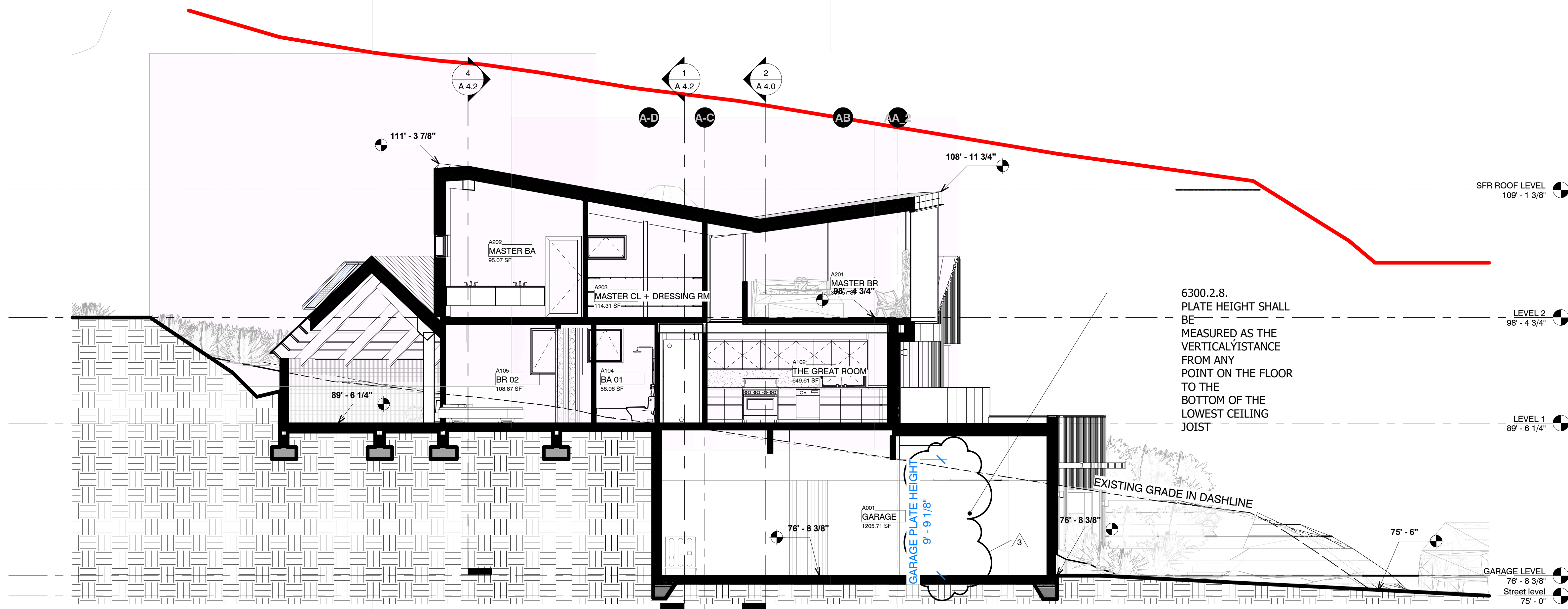
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3	4TH submittal planning DR	11/13/2023

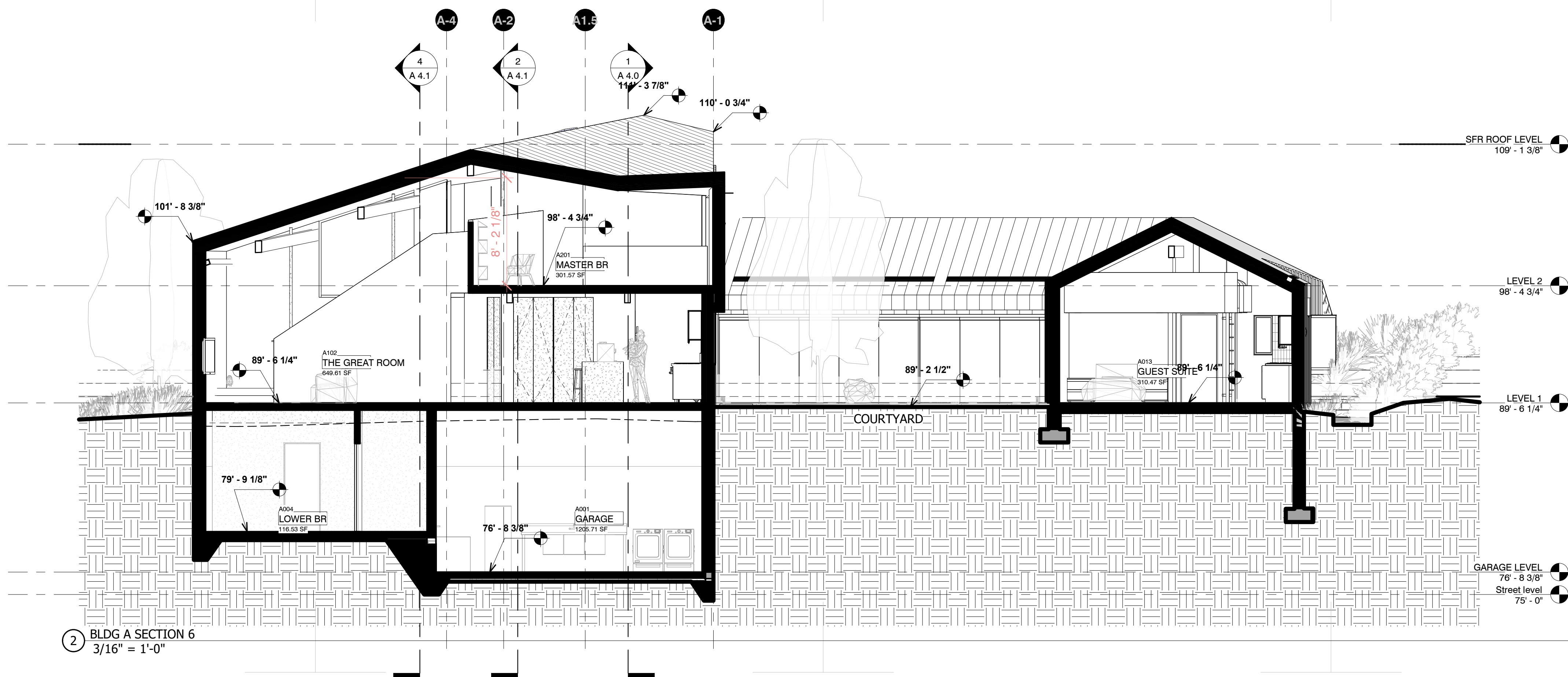
TOTAL SF:  
 KEY PLAN:

**BLDG SECTION FOR PERMIT**

**A 4.0**

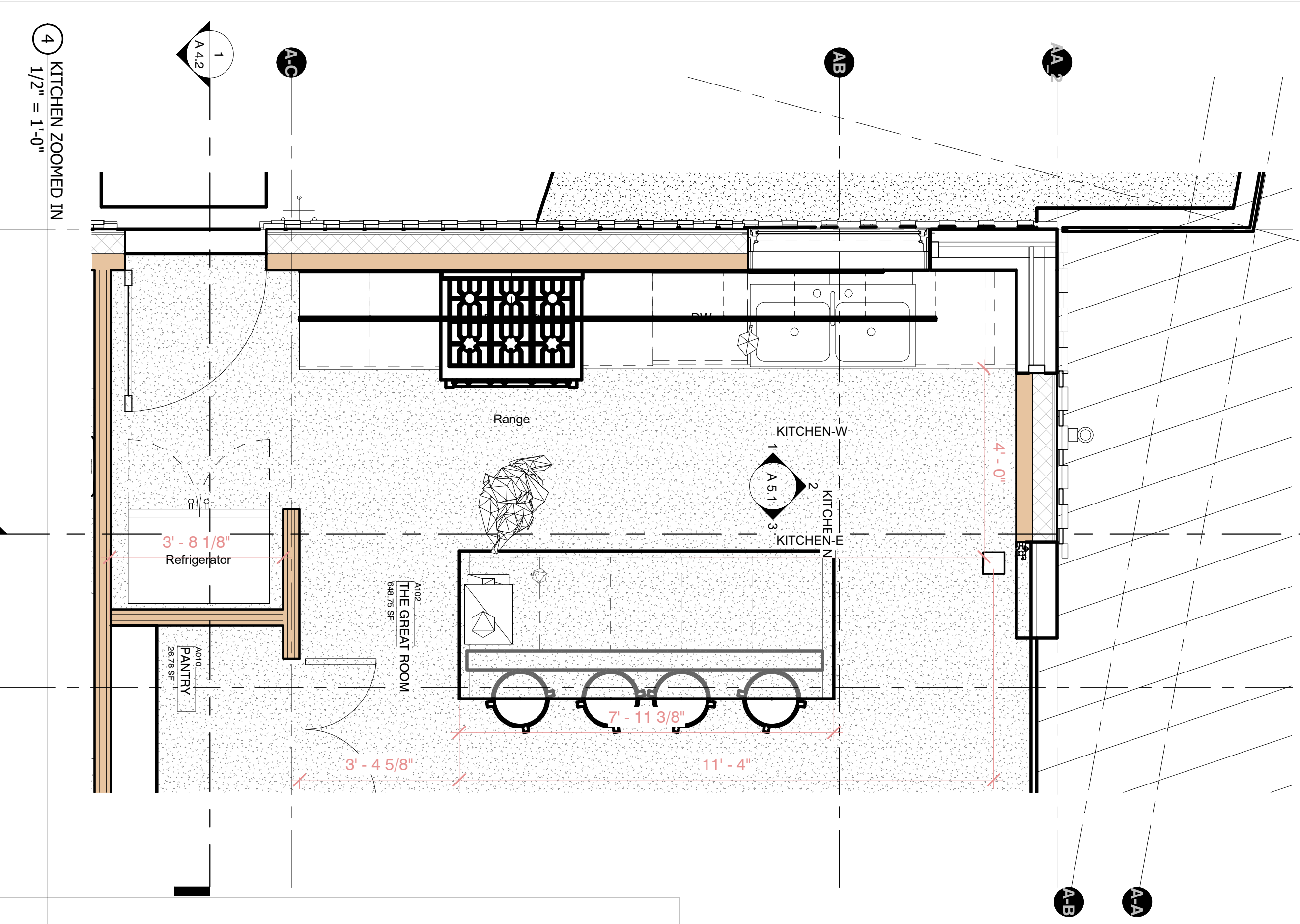


1 BLDG A SECTION 3  
 3/16" = 1'-0"

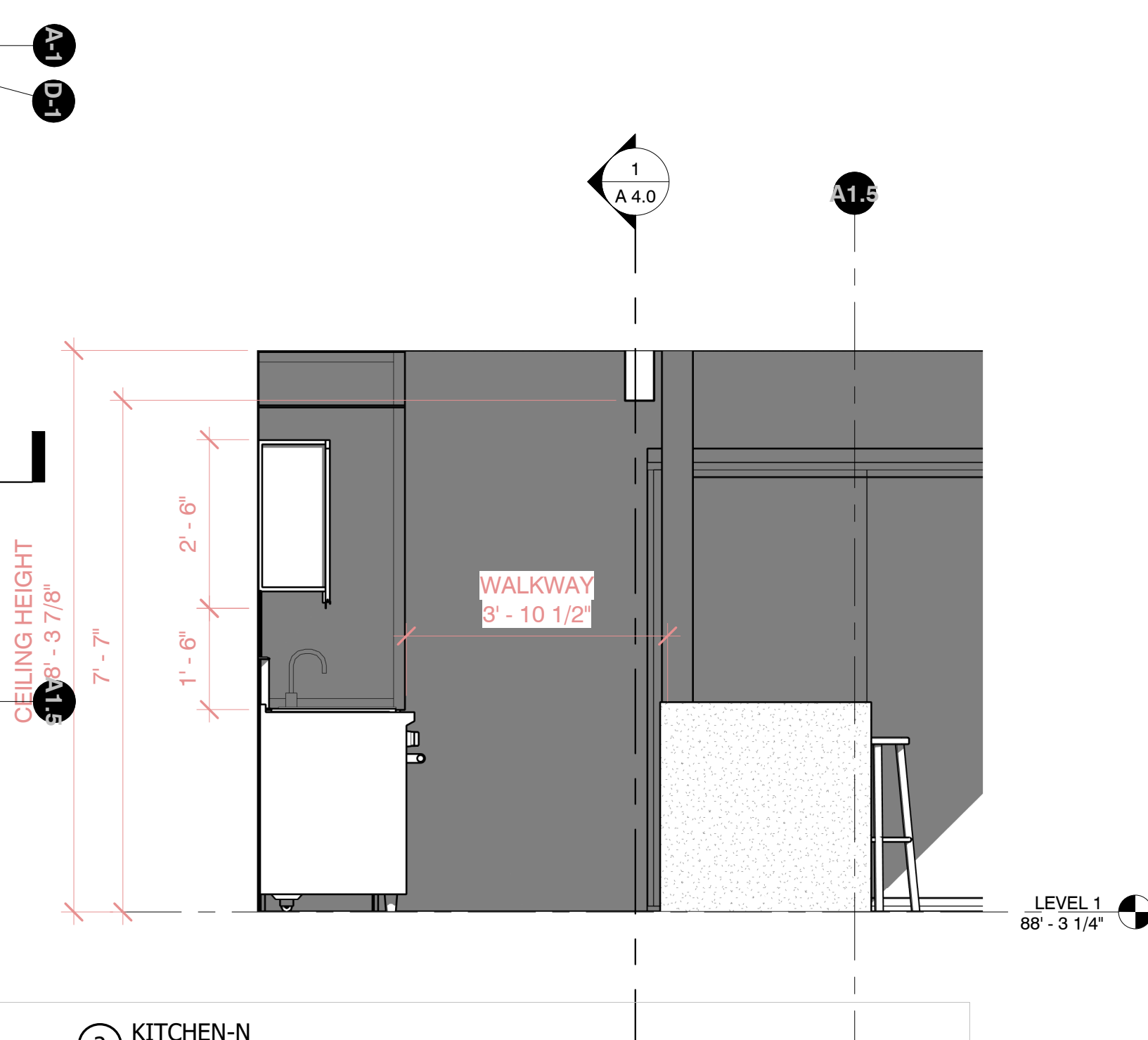


2 BLDG A SECTION 6  
 3/16" = 1'-0"

DRAWING LIMIT



④ KITCHEN-N  
1/2" = 1'-0"



② KITCHEN-N  
1/2" = 1'-0"

**GENERAL FINISH NOTES**

1. CONTRACTOR SHALL EXAMINE ALL SURFACE TO BE FINISHED AND VERIFY THEY ARE REASONABLY ACCEPTABLE TO RECEIVE SPECIFIED FINISHES.
2. SURFACE DEFECTS OF DEFICENCIES WHICH MAY ADVERSELY AFFECT WORK SHALL BE CORRECTED OR BROUGHT TO THE ATTENTION OF THE GENERAL CONTRACTOR FOR CORRECTION PRIOR TO COMMENCING OF WORK.
3. ALL SURFACES SHALL BE PREPARED AND PRIMED ACCORDING TO MANUFACTURER'S DIRECTIONS AND RECOMMENDATIONS.
4. CONTRACTOR IS TO NOTIFY ARCHITECT OF ANY DISCREPANCIES OR CONFLICTS REGARDING CONDITIONS OR LOCATIONS FOR APPLICATION OF MATERIALS PRIOR TO OR DURING CONSTRUCTION / INSTALLATION OR TRADE RESPONSIBILITY FOR CORRECTING SUCH WORK AS DIRECTED BY THE ARCHITECT.
5. THE CONTRACTOR SHALL EXAMINE ALL AREAS OF CONSTRUCTION AFTER COMPLETION OF WORK BY ALL TRADES AND APPROVE ALL NECESSARY TOUCH-UP PAINTING OR PATCHING.

**FINISH HATCH LEGEND**

	CONCRETE LIGHT BROOM TEXTURE
	CONCRETE SMOOTH FINISH
	GWB- LEVEL 4 FINISH
	GWB- LEVEL 5 FINISH
	HARDWOOD SOLID FINISHED FACE
	HARDWOOD T&G CEILING FINISH
	HARDWOOD T&G FLOOR FINISH
	WALL/BACKSPASH TILE, SEE ARCH.SPECS
	FLOOR TILE, SEE SPECS

PROJECT:  
**Bobak Bakhtiari residence (v4.1)**  
AAA PROJECT CODE: 21BOB

Vacant lots, 2nd Street, Montara, County of San Mateo, California

**ANDERSON ANDERSON ARCHITECTURE**  
90 TEHAMA STREET  
SAN FRANCISCO, CALIFORNIA 94105  
T 415.243.9500  
F 415.520.9522

**PRELIMINARY**  
NOT FOR CONSTRUCTION

DATE: 08/10/23  
PHASE: DR PRE-APPROVAL  
PREPARED BY: Author

#	REVISION	ISSUE	DATE
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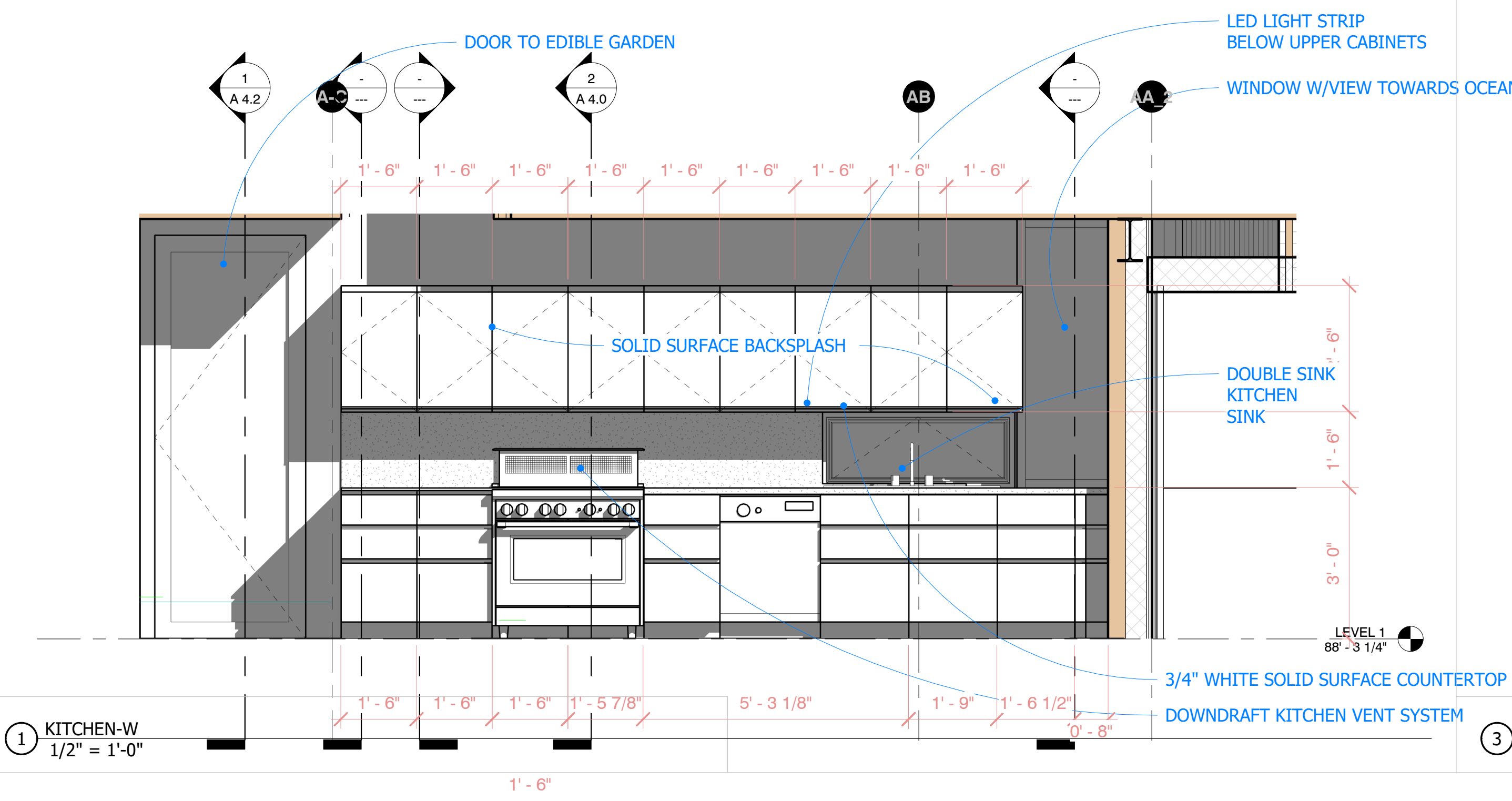
TOTAL SF:  
KEY PLAN:

**INT ELEVATIONS - KITCHEN**

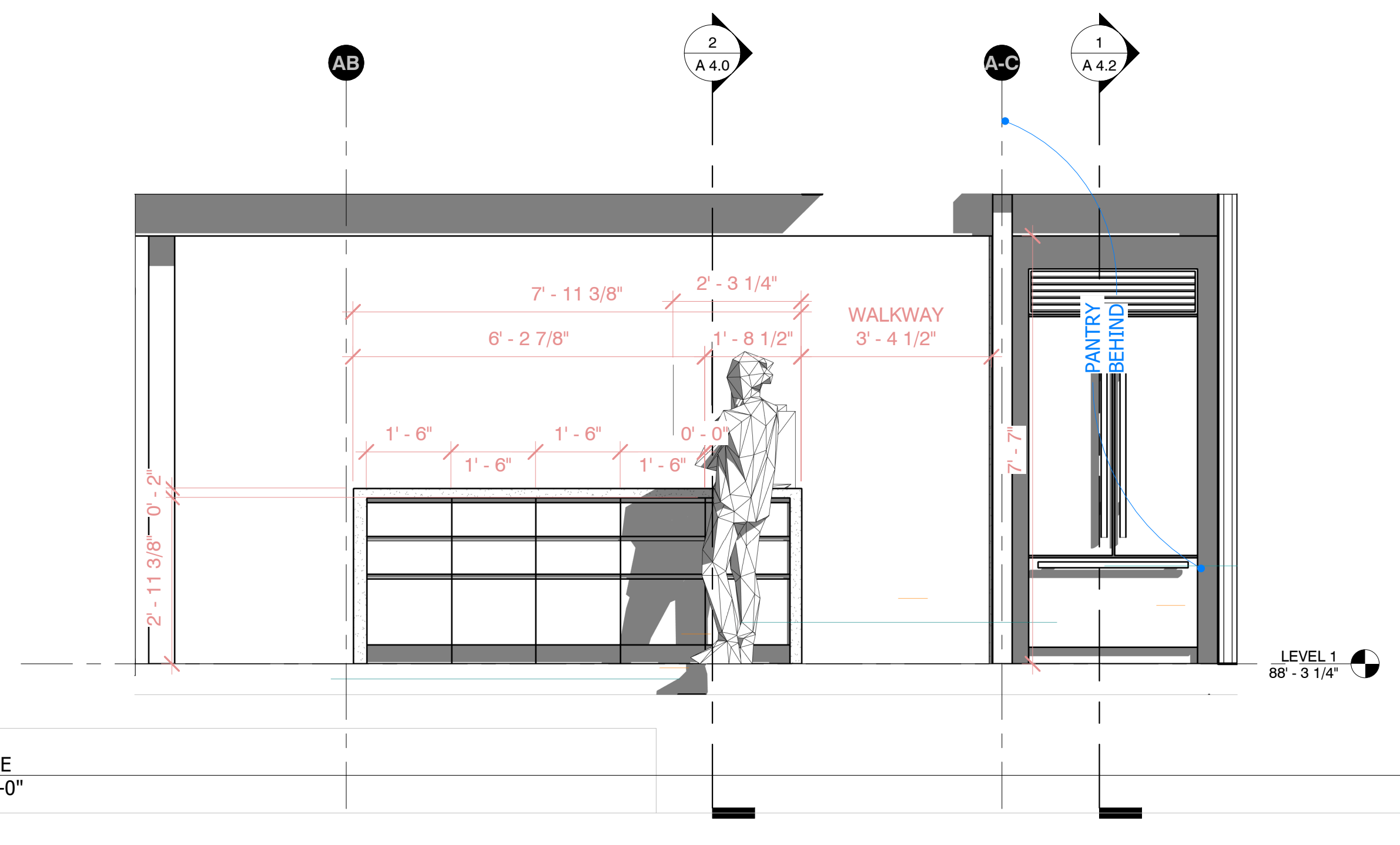
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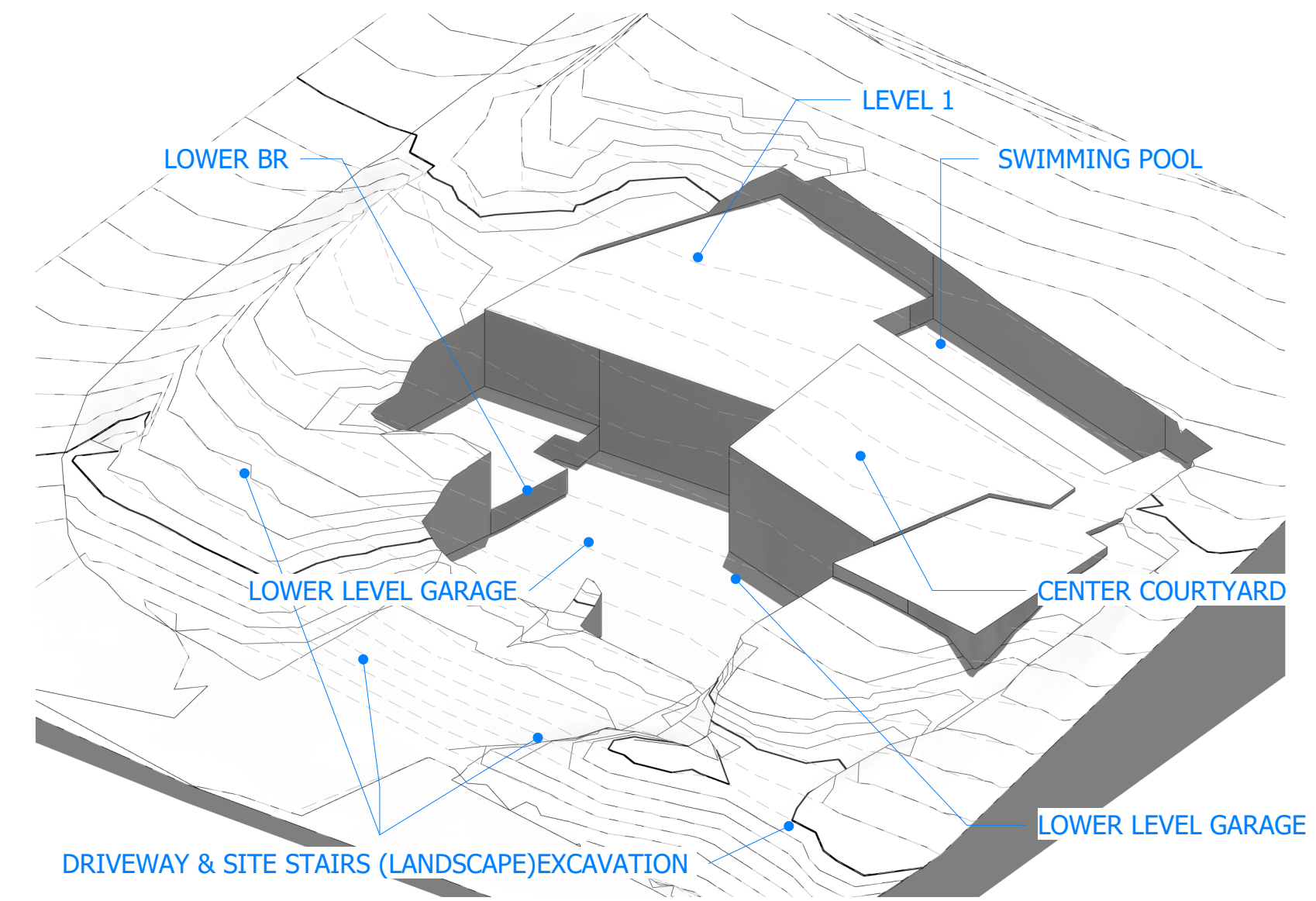
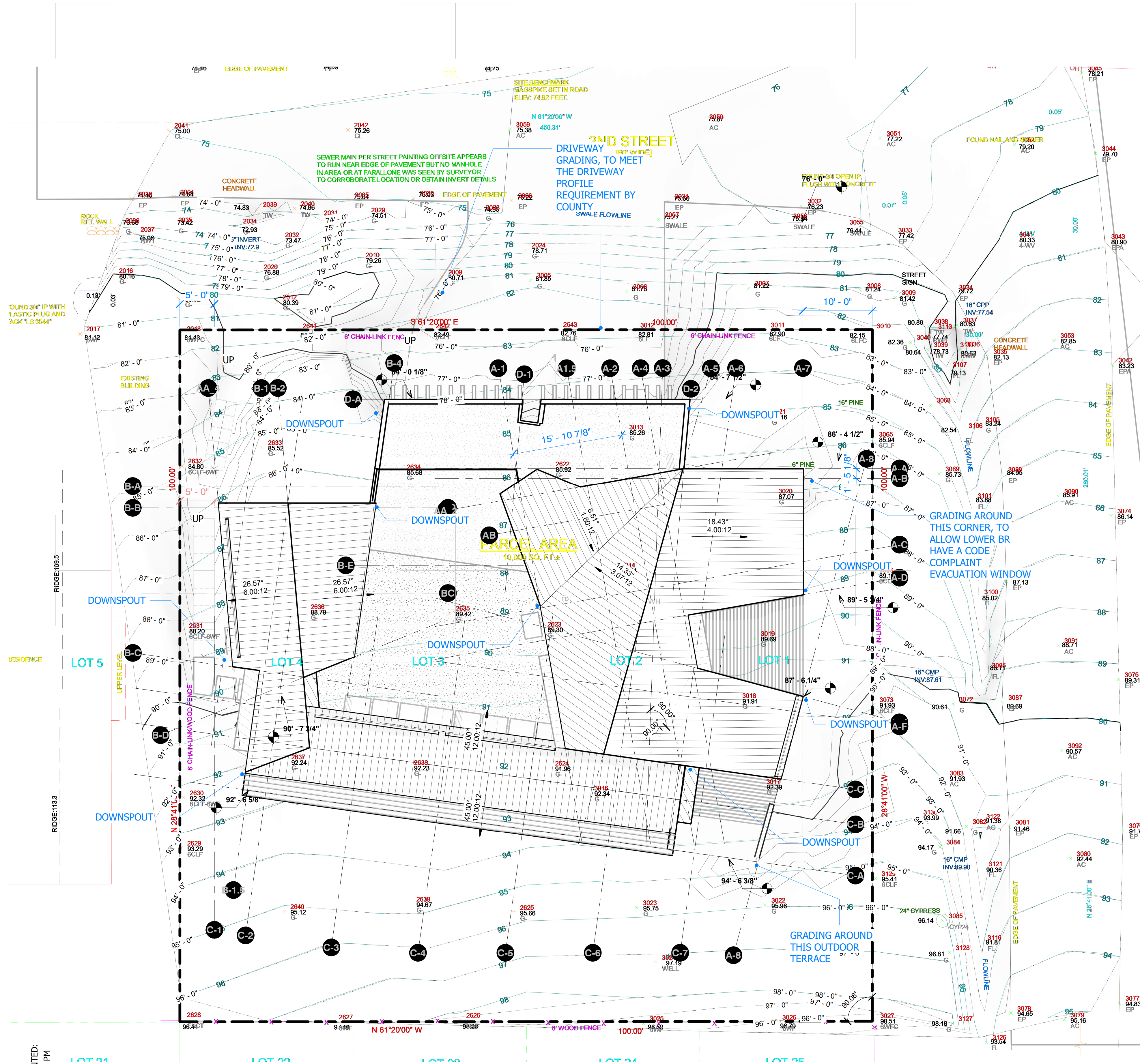
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① KITCHEN-W  
1/2" = 1'-0"



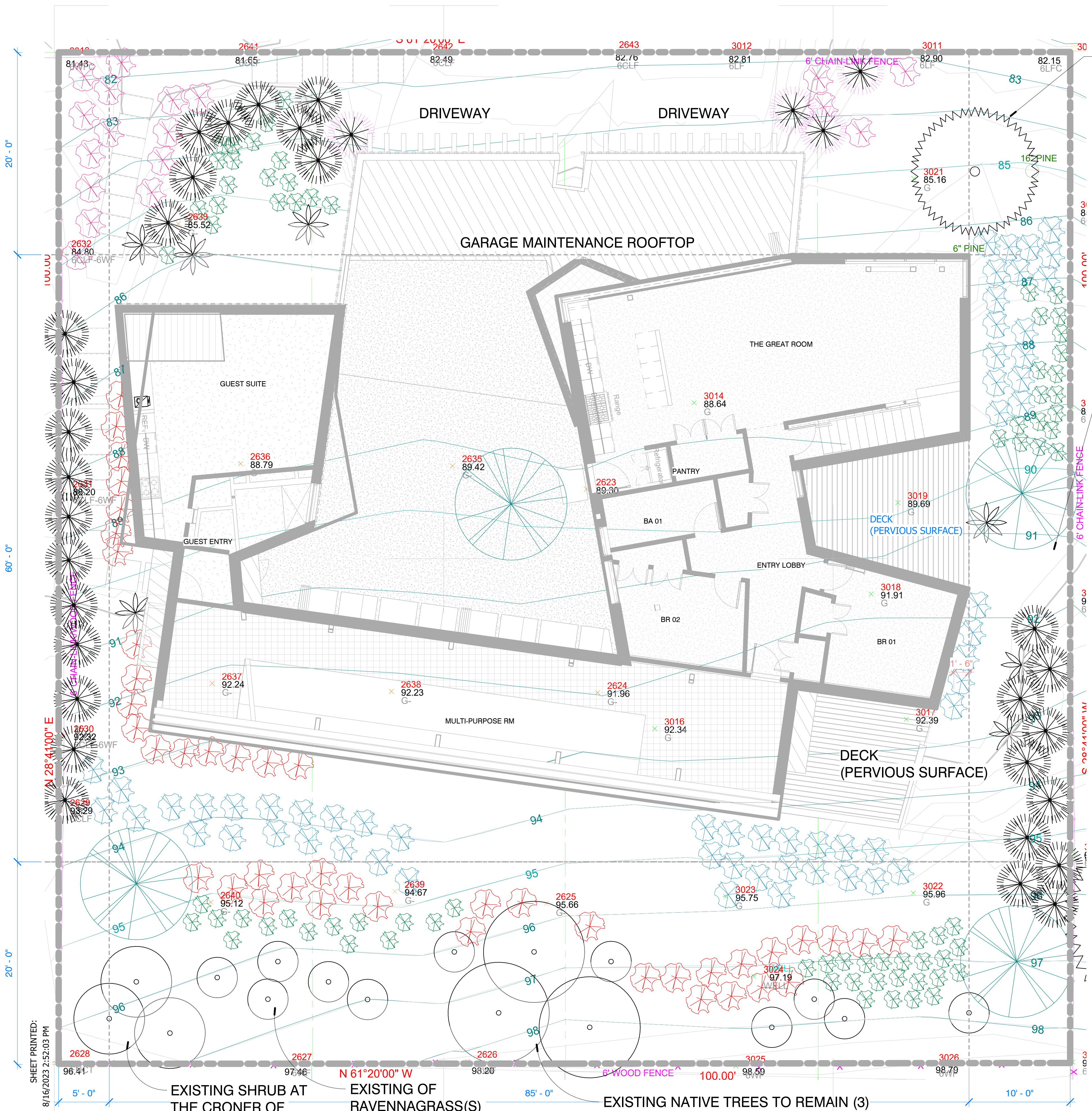
③ KITCHEN-E  
1/2" = 1'-0"



2 EXCAVATION DIAGRAM

Topography Schedule					
NAME	Net cut/fill	Cut	Fill	NET CUT/FILL (CUBIC YARD)	COMBINED CUT & FILL (Cubic Yard)
LANDSCAPE EXCAVATION	-4641.49 CF	4670.45 CF	28.96 CF	-171.907184	174.052316
LEVEL 1	-4259.15 CF	4500.79 CF	241.64 CF	-157.746234	175.645816
LOWER LEVEL GARAGE	-13678.92 CF	13678.92 CF	0.00 CF	-506.626609	506.626609
DRIVEWAY	-5073.27 CF	5108.02 CF	34.75 CF	-187.899028	190.473005
LOWER BR	-2784.79 CF	2784.79 CF	0.00 CF	-103.140332	103.140332
SWIMMING POOL	-2329.37 CF	2329.37 CF	0.00 CF	-86.273105	86.273105
CENTER COURTYARD	-889.94 CF	770.65 CF	80.71 CF	-25.553437	31.53167
Grand total: 7		33843.00 CF	386.06 CF	-1239.145931	1267.742653

\*LANDSCAPE EXCAVATION INCLUDES CUT&FILL FOR DRIVEWAY AND LANDSCAPE STAIRS



**REQUIREMENTS FOR WATER EFFICIENT LANDSCAPE ORDINANCE (WELCO)**

- RECIRCULATING WATER SYSTEMS SHALL BE USED FOR WATER FEATURES
- FOR SOILS LESS THAN 6% ORGANIC MATTER IN THE TOP 6 INCHES OF SOIL, COMPOST AT A RATE OF A MINIMUM OF FOUR CUBIC YARDS PER 1,000 SQUARE FEET OF PERMEABLE AREA SHALL BE INCORPORATED TO A DEPTH OF SIX INCHES INTO THE SOIL
- COMPOST: PROJECT MUST INCORPORATE COMPOST AT A RATE OF AT LEAST FOUR (4) CUBIC YARDS PER 1,000 SQ. FT. TO A DEPTH OF 6 INCHES INTO LANDSCAPE AREA (UNLESS CONTRA-INDICATED BY A SOIL TEST).
- A MINIMUM 3-INCH LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT TURF AREAS, CREEPING OR ROOTING GROUNDCOVERS, OR DIRECT SEEDING APPLICATIONS WHERE MULCH IS CONTRAINDICATED.
- TURF (Title 23, Chapter 2.7, Appendix D (b) (4)): TOTAL TURF AREA SHALL NOT EXCEED 25% OF THE LANDSCAPE AREA. TURF IS NOT ALLOWED IN NON-RESIDENTIAL PROJECTS. TURF (IF UTILIZED) IS LIMITED TO SLOPES NOT EXCEEDING 25% AND IS NOT USED IN PARKWAYS LESS THAN 10 FEET IN WIDTH. TURF, IF UTILIZED IN PARKWAYS IS IRRIGATED BY SUB-SURFACE IRRIGATION OR OTHER TECHNOLOGY THAT PREVENTS OVERSPRAY OR RUNOFF. TURF IS NOT ALLOWED IN NON-RESIDENTIAL PROJECTS.
- FOR RESIDENTIAL AREAS, 75% OF LANDSCAPE, EXCLUDING EDIBLES AND AREAS USING RECYCLED WATER, SHALL CONSIST OF PLANTS THAT AVERAGE A WUCOLS PLANT FACTOR OF 0.3. WUCOLS PLANTS DATABASE CAN BE FOUND ONLINE AT: 1. [HTTP://UCANR.EDU/SITES/WUCOLS/](http://ucanr.edu/sites/wucols/)

EXISTING 16" PINE TREE TO REMAIN

PROPOSED SWAN HILL OLIVE TREE

Planting Schedule							
Image	Type	LATIN NAME	Comments	Count	SPACING	WATER USAGE	URL
	BLUE GLOW AGAVE	Agave attenuata x Agave ocahual	WELCO	7	5' - 0"	VERY LOW, PLANT FACTOR <0.1	
	Blue oat grass	Helictotrichon sempervirens and cvs	WELCO	66	2' - 0"	LOW, PF 0.1-0.3	
	Bougainvillea spectabilis	Bougainvillea spectabilis	WELCO	3	8' - 0"	LOW, PF 0.1-0.3	
	COASTAL ROSEMARY	Westringia fruticosa (rosmariniformis) & hybrids and cvs	WELCO	29	3' - 0"	LOW, PF 0.1-0.3	
	Dwarf fountain grass	Pennisetum alopecuroides 'Hameln'	WELCO	56	3' - 0"	LOW, PF 0.1-0.3	
	RUSSIAN SAGE	Perovskia spp. & cvs.	WELCO	43	4' - 0"	LOW, PF 0.1-0.3	
	SWAN hill OLIVE TREE	Olea europaea 'Swan Hill'	WELCO	4	10' - 0"	LOW, PF 0.1-0.3	
	WALL GERMANDER	Teucrium fruticans	WELCO	22	4' - 0"	LOW, PF 0.1-0.3	
Grand total: 230							

PROJECT:  
**Bobak Bakhtiari residence (v4.1)**  
AAA PROJECT CODE: 21BOB  
Vacant lots, 2nd Street, Montara, County of San Mateo, California

**ANDERSON ANDERSON ARCHITECTURE**  
90 TEHAMA STREET  
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T 415.243.9500  
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NOT FOR CONSTRUCTION

DATE: 08/10/23  
PHASE: DR PRE-APPROVAL  
PREPARED BY: Author

#	REVISION	ISSUE	DATE

TOTAL SF:  
KEY PLAN:

**ARCHITECTURAL LANDSCAPE PLAN**

**L 3.0**  
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1 LANDSCAPE PLAN  
3/16" = 1'-0"

EXISTING SHRUB AT THE CORNER OF PROPERTY TO REMAIN (3)  
EXISTING OF RAVENNAGRASS(S) TO REMAIN  
EXISTING NATIVE TREES TO REMAIN (3)

PLANT LIST  
3/16" = 1'-0"



**PRELIMINARY**  
 NOT FOR CONSTRUCTION

**IRRIGATION NOTES**

- CHECK VALVES OR ANTI-DRAIN VALVES ARE REQUIRED ON ALL SPRINKLER HEADS WHERE LOW POINT DRAINAGE COULD OCCUR
- AUTOMATIC WEATHER-BASED OR SOIL-MOISTURE BASED IRRIGATION CONTROLLERS SHALL BE INSTALLED ON THE IRRIGATION SYSTEM.
- PRESSURE REGULATORS SHALL BE INSTALLED ON THE IRRIGATION SYSTEM TO ENSURE DYNAMIC PRESSURE OF THE SYSTEM IS WITHIN THE MANUFACTURER'S RECOMMENDED PRESSURE RANGE
- MANUAL-SHUT-OFF VALVES SHALL BE INSTALLED AS CLOSE AS POSSIBLE TO THE POINT OF CONNECTION OF THE WATER SUPPLY
- AREAS LESS THAN 10-FEET IN WIDTH IN ANY DIRECTION SHALL BE IRRIGATED WITH SUBSURFACE IRRIGATION OR OTHER MEANS THAT PRODUCES NO RUNOFF OR OVERSPRAY.
- AT THE TIME OF FINAL INSPECTION, THE PERMIT APPLICANT MUST PROVIDE THE OWNER OF THE PROPERTY WITH A CERTIFICATE OF COMPLETION, CERTIFICATE OF INSTALLATION, IRRIGATION SCHEDULE OF LANDSCAPE AND IRRIGATION MAINTENANCE.
- UNLESS CONTRADICTED BY A SOILS TEST, COMPOST AT A RATE OF A MINIMUM OF FOUR CUBIC YARDS PER 1,000 SQ. FT. OF PERMEABLE AREA SHALL BE INCORPORATED TO A DEPTH OF SIX INCHES INTO THE SOIL.

HYDROZONE AREA		
Name	Area	Plants in zone
<b>A. LOW WATER USAGE</b>		
HYDROZONE A-1/ LOW WATER USAGE	496.47 SF	A. LOW WATER USAGE
HYDROZONE A-2/ LOW WATER USAGE	25.68 SF	A. LOW WATER USAGE
HYDROZONE A-3/ LOW WATER USAGE	144.85 SF	A. LOW WATER USAGE
HYDROZONE A-4/ LOW WATER USAGE	226.93 SF	A. LOW WATER USAGE
<b>A. LOW WATER USAGE: 4</b>	<b>893.92 SF</b>	
<b>B. LOW WATER USAGE</b>		
HYDROZONE B-1/ LOW WATER USAGE	1459.32 SF	B. LOW WATER USAGE
HYDROZONE B-3/ LOW WATER USAGE	92.47 SF	B. LOW WATER USAGE
HYDROZONE B-2/ LOW WATER USAGE	215.88 SF	B. LOW WATER USAGE
<b>B. LOW WATER USAGE: 3</b>	<b>1767.67 SF</b>	
<b>C. MODERATE WATER USAGE</b>		
HYDROZONE C3/ EDIBLE GARDEN	32.00 SF	C. MODERATE WATER USAGE
HYDROZONE C1/ EDIBLE GARDEN	32.00 SF	C. MODERATE WATER USAGE
HYDROZONE C2/ EDIBLE GARDEN	32.00 SF	C. MODERATE WATER USAGE
HYDROZONE C4/ EDIBLE GARDEN	31.50 SF	C. MODERATE WATER USAGE
HYDROZONE C5/ EDIBLE GARDEN	31.50 SF	C. MODERATE WATER USAGE
<b>C. MODERATE WATER USAGE: 5</b>	<b>159.00 SF</b>	
<b>D. POOL</b>		
HYDROZONE D/ INDOOR POOL	279.83 SF	D. POOL
<b>D. POOL: 1</b>	<b>279.83 SF</b>	
<b>Grand total: 13</b>	<b>3100.42 SF</b>	

DATE: 08/10/23  
 PHASE: DR PRE-APPROVAL  
 PREPARED BY: Author

#	REVISION	ISSUE	DATE

**HYDROZONE LEGEND**

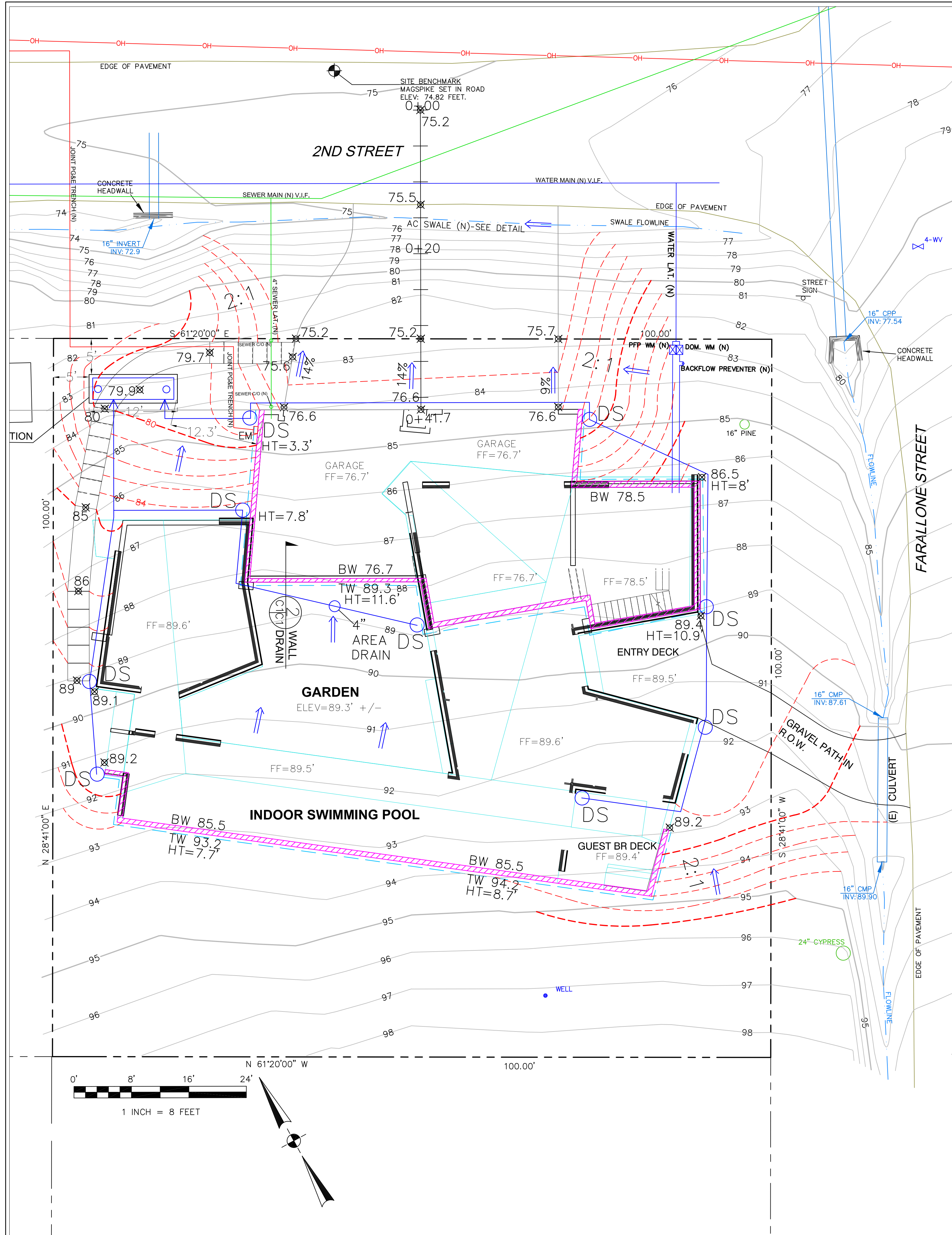
- HYDROZONE A-1/ LOW WATER USAGE
- HYDROZONE A-2/ LOW WATER USAGE
- HYDROZONE A-3/ LOW WATER USAGE
- HYDROZONE A-4/ LOW WATER USAGE
- HYDROZONE B-1/ LOW WATER USAGE
- HYDROZONE B-2/ LOW WATER USAGE
- HYDROZONE B-3/ LOW WATER USAGE
- HYDROZONE C1/ EDIBLE GARDEN
- HYDROZONE C2/ EDIBLE GARDEN
- HYDROZONE C3/ EDIBLE GARDEN
- HYDROZONE C4/ EDIBLE GARDEN
- HYDROZONE C5/ EDIBLE GARDEN
- HYDROZONE D/ INDOOR POOL

TOTAL SF:  
 KEY PLAN: LE

**IRRIGATION PLAN**

**L 3.1**





- ### LEGEND
- EXISTING CONTOURS
  - PROPOSED CONTOURS
  - PROPOSED SPOT ELEVATION
  - SURFACE DRAINAGE FLOW
  - DOWNSPOUT
  - 4" MIN SOLID DRAIN PIPE
  - 4" MIN PERFORATED DRAIN PIPE
  - RETAINING WALL

### GENERAL NOTES

- PLANS PREPARED AT THE REQUEST OF: BOBAK BAKHTIARI, OWNER
- TOPOGRAPHY BY BGT LAND SURVEYING, SURVEYED 3-2-20.
- THIS IS NOT A BOUNDARY SURVEY.
- ELEVATION DATUM ASSUMED.
- THE GEOTECHNICAL REPORT: **GEOTECHNICAL STUDY: BAKHTIARI PROPERTY, 2ND STREET MONTARA, APN 036-014-200, 210**; DATE: OCTOBER 26, 2022, BY SIGMA PRIME GEOSCIENCES, INC. PROJECT NO. 22-195 SHALL BE RETAINED ON THE CONSTRUCTION SITE. THE GEOTECHNICAL ENGINEER OF RECORD IS SIGMA PRIME GEOSCIENCES, INC. ASSOCIATES, WITH THE CONTACT NUMBER (650)-728-3590. THE CONTRACTOR MUST NOTIFY THE GEOTECHNICAL ENGINEER OF RECORD AT LEAST 48 HOURS BEFORE CONSTRUCTION OF GEOTECHNICAL RELATED WORK. THE GEOTECHNICAL PART OF CONSTRUCTION WORK, INCLUDING BUT NOT LIMITED TO, ALL THE EARTHWORK AND FOUNDATION CONSTRUCTIONS, MUST BE APPROVED BY THE GEOTECHNICAL ENGINEER OF RECORD.
- STORMWATER MANAGEMENT CONSTRUCTION INSPECTIONS SHALL BE SCHEDULED FOR APPLICABLE DRAINAGE INSPECTIONS, WHICH INCLUDE SITE CLEARANCE AND EROSION CONTROL MEASURES INSTALLATION AS WELL AS INSPECTION OF MAJOR DRAINAGE CONTAINMENT, TREATMENT, AND CONVEYANCE DEVICES BEFORE BEING BURIED (INCLUDING REQUIRED MATERIAL LABELS, E.G. PIPES, SUB-GRADE MATERIALS, ETC.). PLEASE FOLLOW THE INSPECTION CARD INSTRUCTIONS AND PHONE NUMBER (650)-395-3650 TO SCHEDULE COUNTY DRAINAGE INSPECTIONS ACCORDINGLY. THERE SHALL BE THREE INSPECTIONS: ONE FOR EROSION CONTROL INSTALLATION, ONE BEFORE DRAINAGE FACILITIES ARE BURIED, AND ONE FOR FINAL WALK AROUND.

### GRADING NOTES

THE SUBGRADE BELOW ALL PAVED AREAS SHALL BE BASE ROCK COMPACTED TO 95%.

ALL GRADING SHALL CONFORM TO LOCAL CODES AND ORDINANCES.

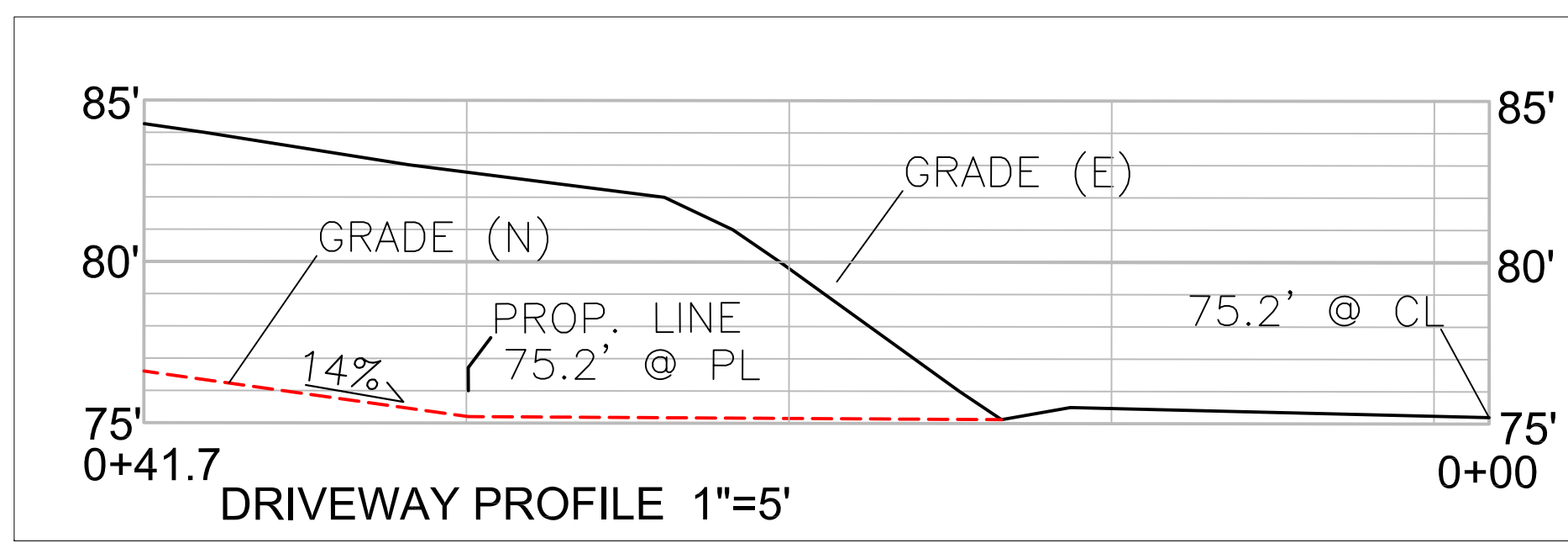
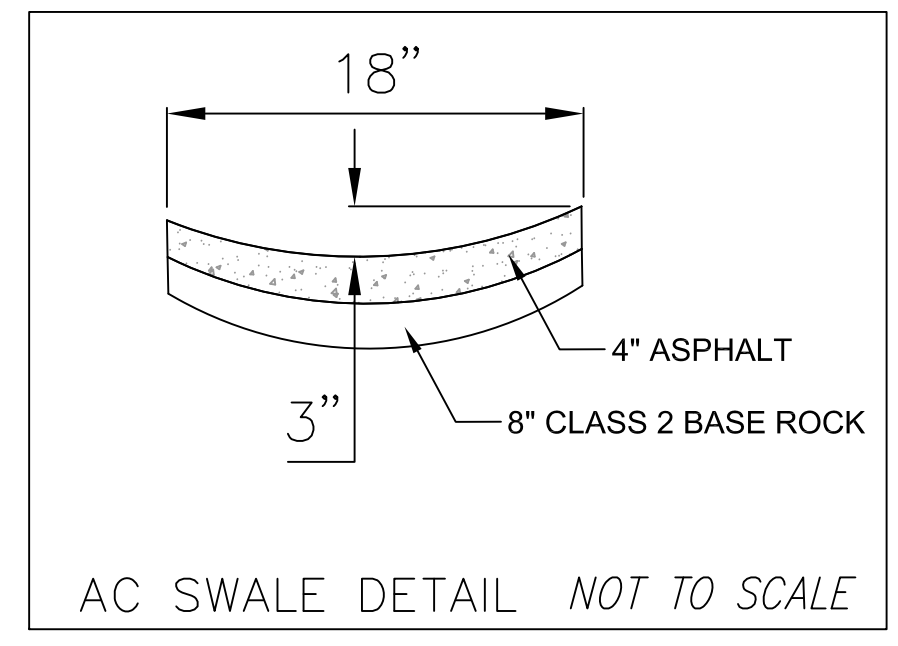
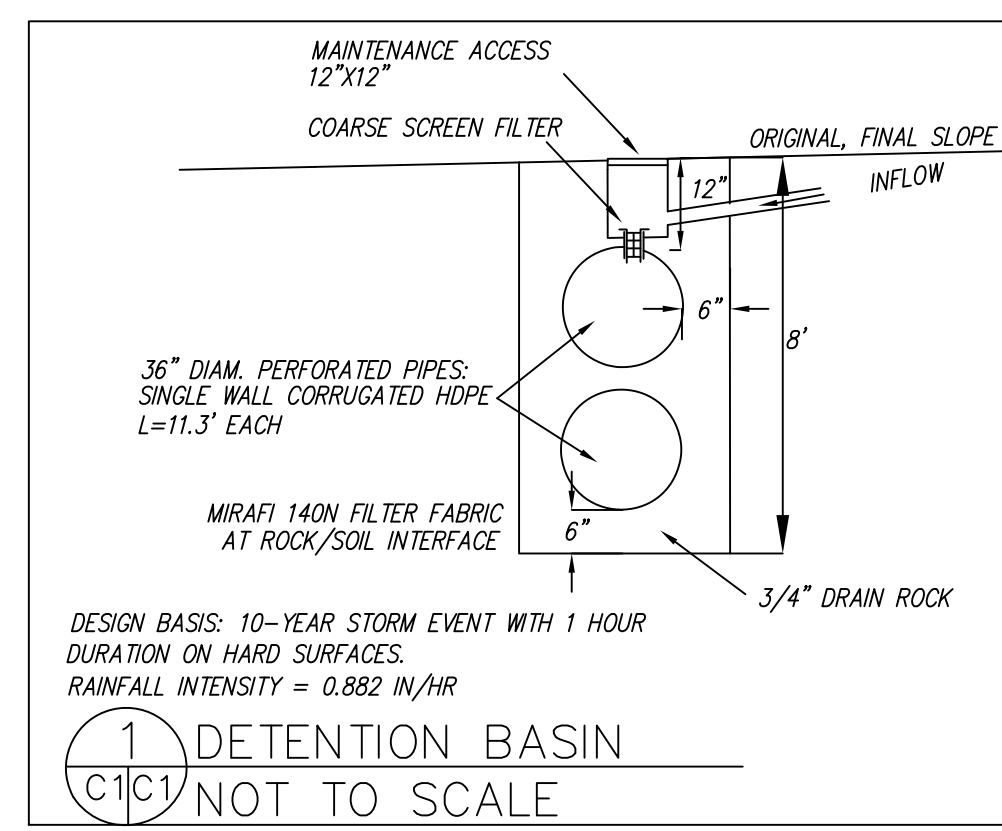
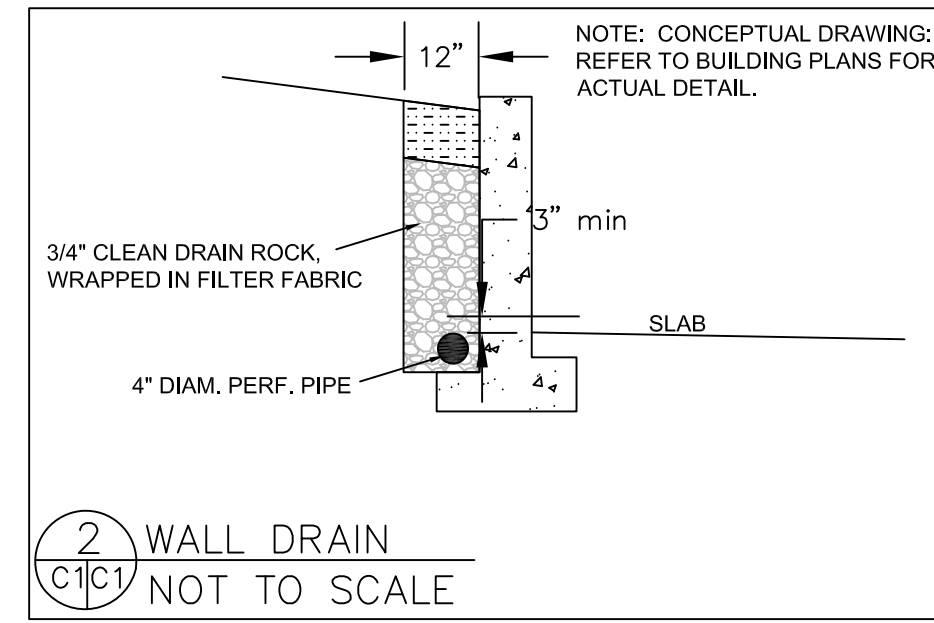
ALL TRENCHES UNDER PROPOSED PAVED AREAS OR CONCRETE SHALL BE BACKFILLED TO SUBGRADE ELEVATION WITH COMPACTED APPROVED GRANULAR MATERIALS. IF TRENCHES ARE IN PROPOSED LANDSCAPE AREAS, THEY SHALL BE BACKFILLED WITH COMPACTED APPROVED GRANULAR MATERIAL TO WITHIN ONE FOOT OF FINISHED GRADE, AND THEN FILLED WITH HAND TAMPED SOILS.

### GRADING QUANTITIES

DESCRIPTION	CUT VOLUME - CY
LANDSCAPE	172
LOWER 1	167
GARAGE	500
DRIVEWAY	187
LOWER BR	103
POOL	86
COURTYARD	28
TOTAL	1253

TOTAL FILL = 3 CY

- ### DRAINAGE NOTES
- DRAINAGE INTENT: IT IS THE INTENT OF THE DRAINAGE SYSTEM TO CONVEY ROOF RUNOFF TO A SAFE LOCATION, AND TO MINIMIZE EXCESSIVE MOISTURE AROUND FOUNDATIONS. DIRECT SLOPES SUCH THAT STORMWATER WILL NOT BE DIVERTED ONTO ADJACENT PROPERTIES.
  - ALL DOWNSPOUT DRAIN LINES SHALL LEAD TO DETENTION BASIN, AS SHOWN.
  - ALL ROOF DRAINAGE PIPES SHALL BE 4" DIAMETER MINIMUM SOLID PIPE, SLOPED AT 1% MINIMUM.
  - IT IS THE PROPERTY OWNER'S RESPONSIBILITY TO CHECK ON ALL STORMWATER FACILITIES SUCH AS ROOF GUTTERS, DOWNSPOUT LINES, AND THE DETENTION BASIN TO BE SURE THAT THEY ARE CLEAR OF EXCESSIVE DEBRIS AND OPERATING EFFICIENTLY. THE FACILITIES SHALL BE CHECKED EVERY FALL AND PERIODICALLY DURING THE RAINY SEASON.



### SECTION AND DETAIL CONVENTION

SECTION OR DETAIL IDENTIFICATION

REFERENCE SHEET No. FROM WHICH SECTION OR DETAIL IS TAKEN

REFERENCE SHEET No. ON WHICH SECTION OR DETAIL IS SHOWN



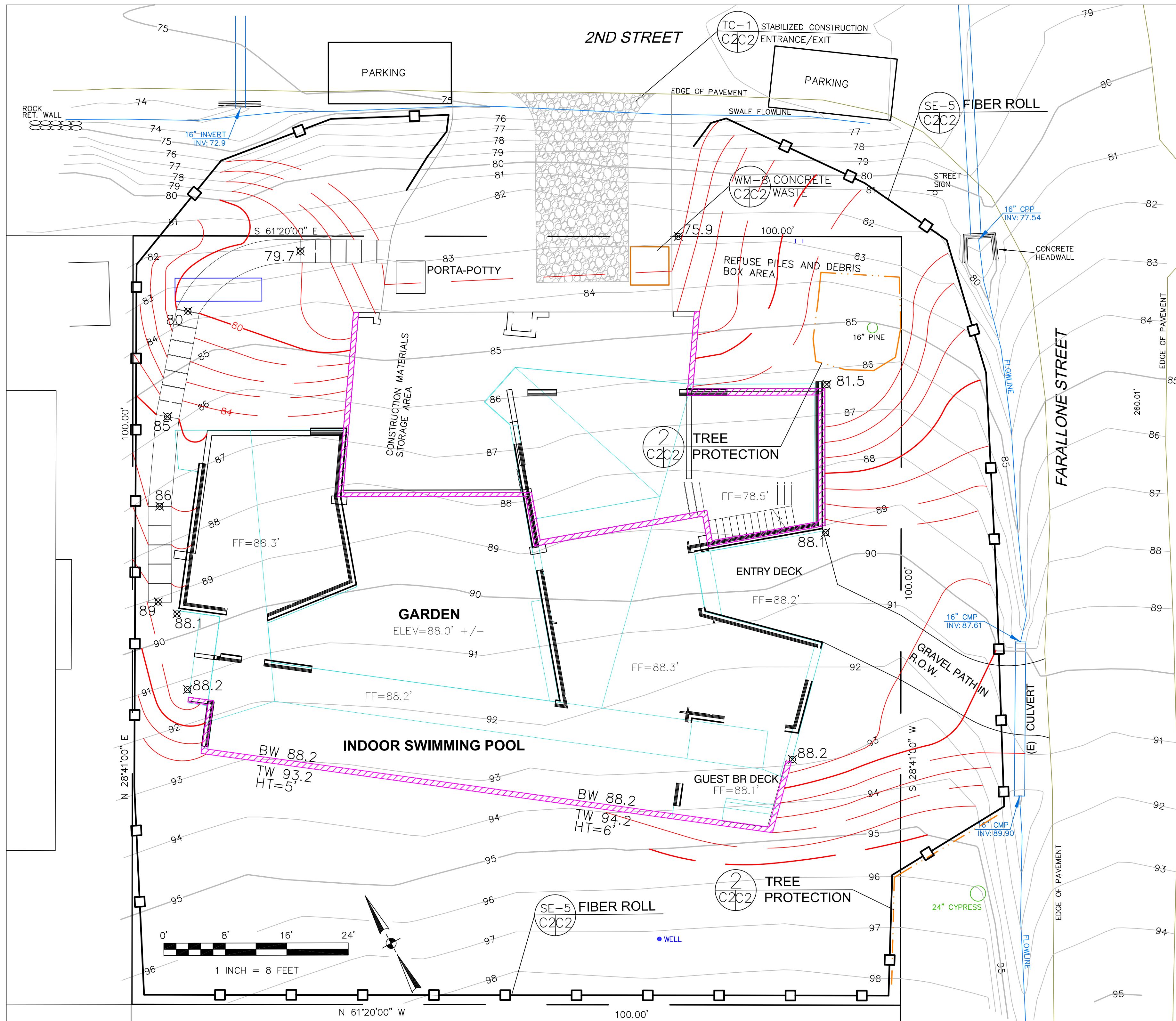
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 DRAWN BY: CMK  
 CHECKED BY: AZG  
 REV. DATE: 8-6-23  
 REV. DATE: 11-9-23  
 REV. DATE: 2-27-24  
 REV. DATE:

Sigma Prime Geosciences, Inc.  
 SIGMA PRIME GEOSCIENCES, INC.  
 332 PRINCETON AVENUE  
 HALF MOON BAY, CA 94019  
 (650) 728-3590  
 FAX 728-3593

GRADING AND DRAINAGE PLAN

2ND STREET  
 MONTARA, CALIFORNIA  
 APN: 036-014-200, 210

SHEET  
**C-1**



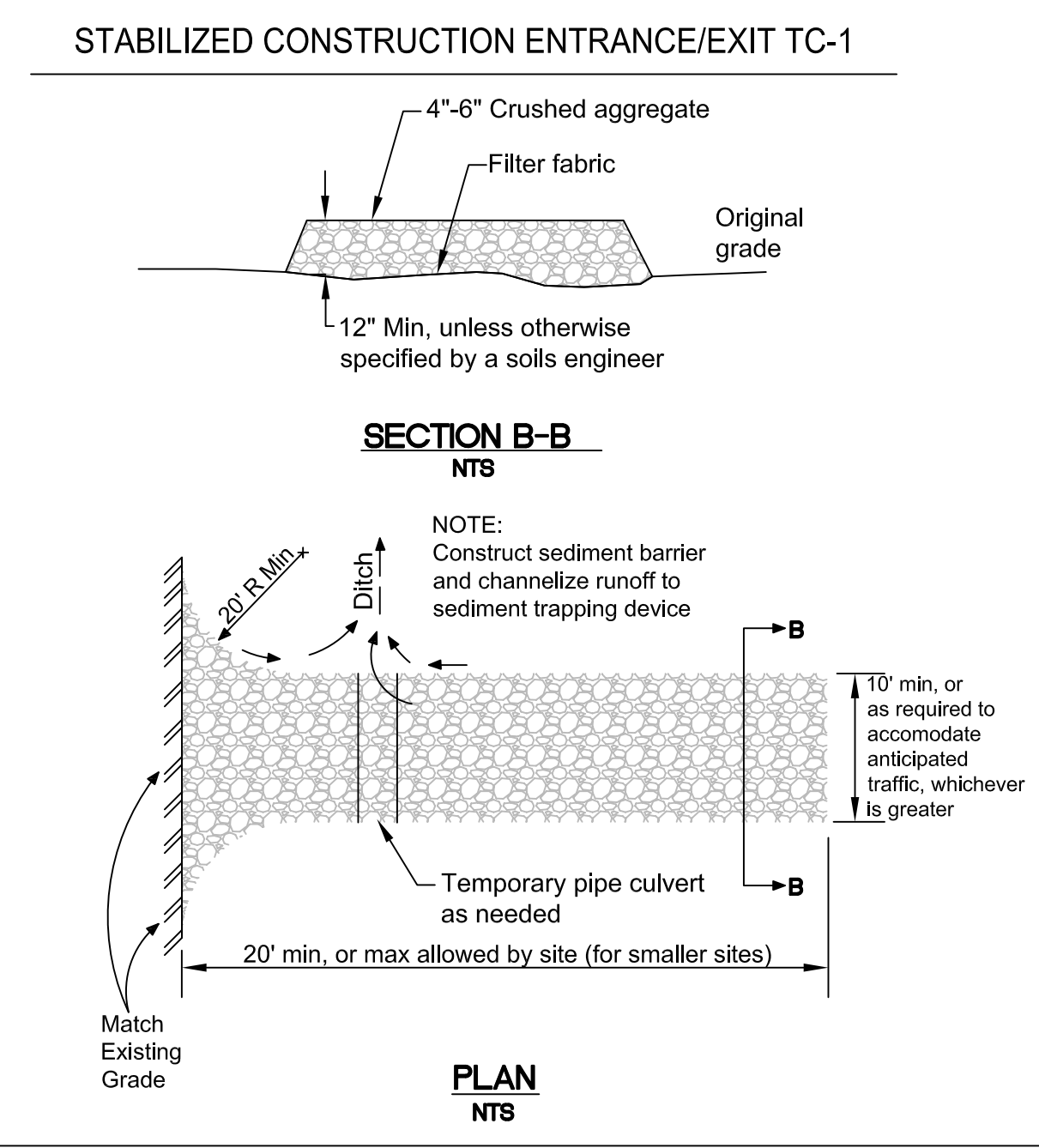
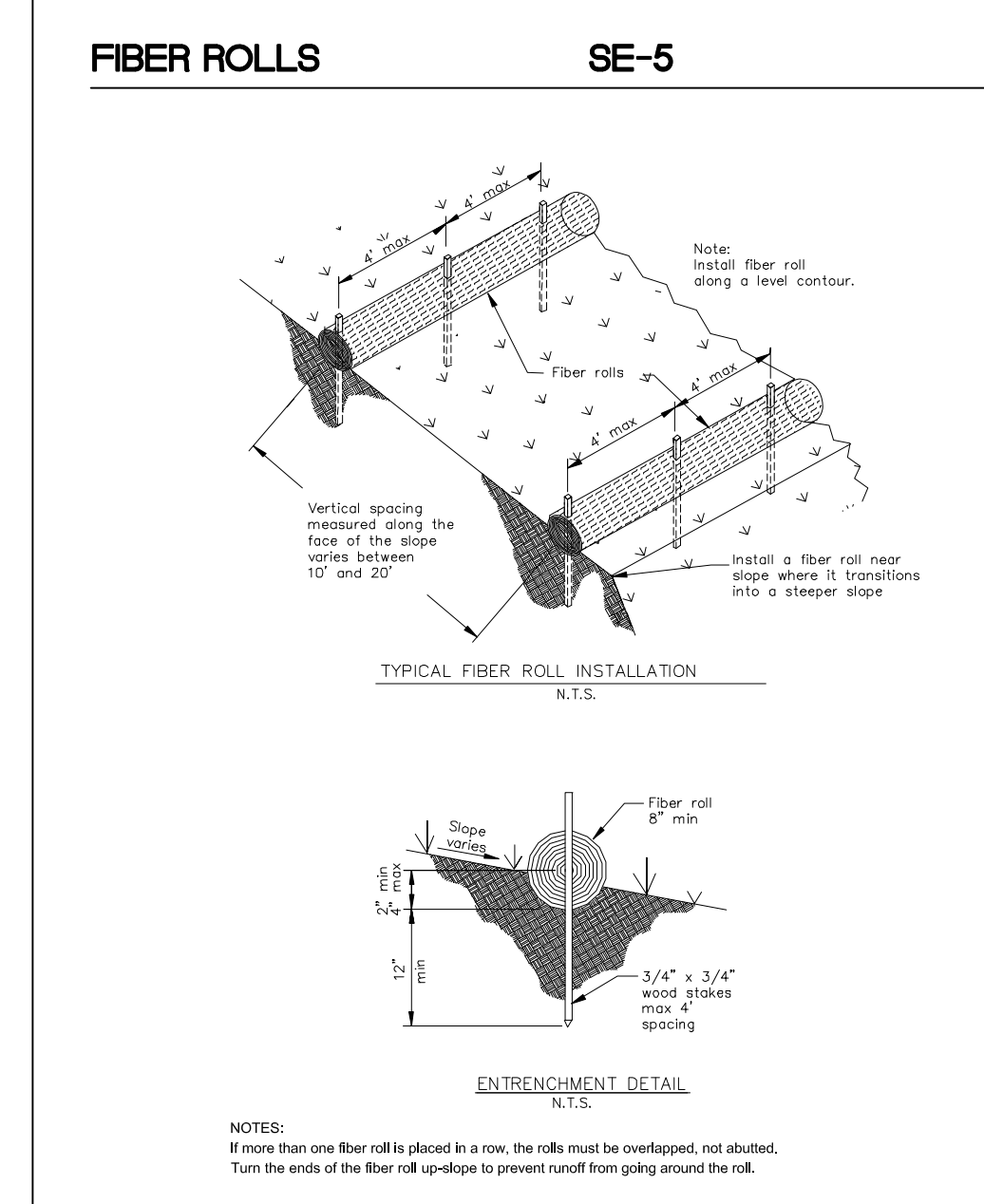
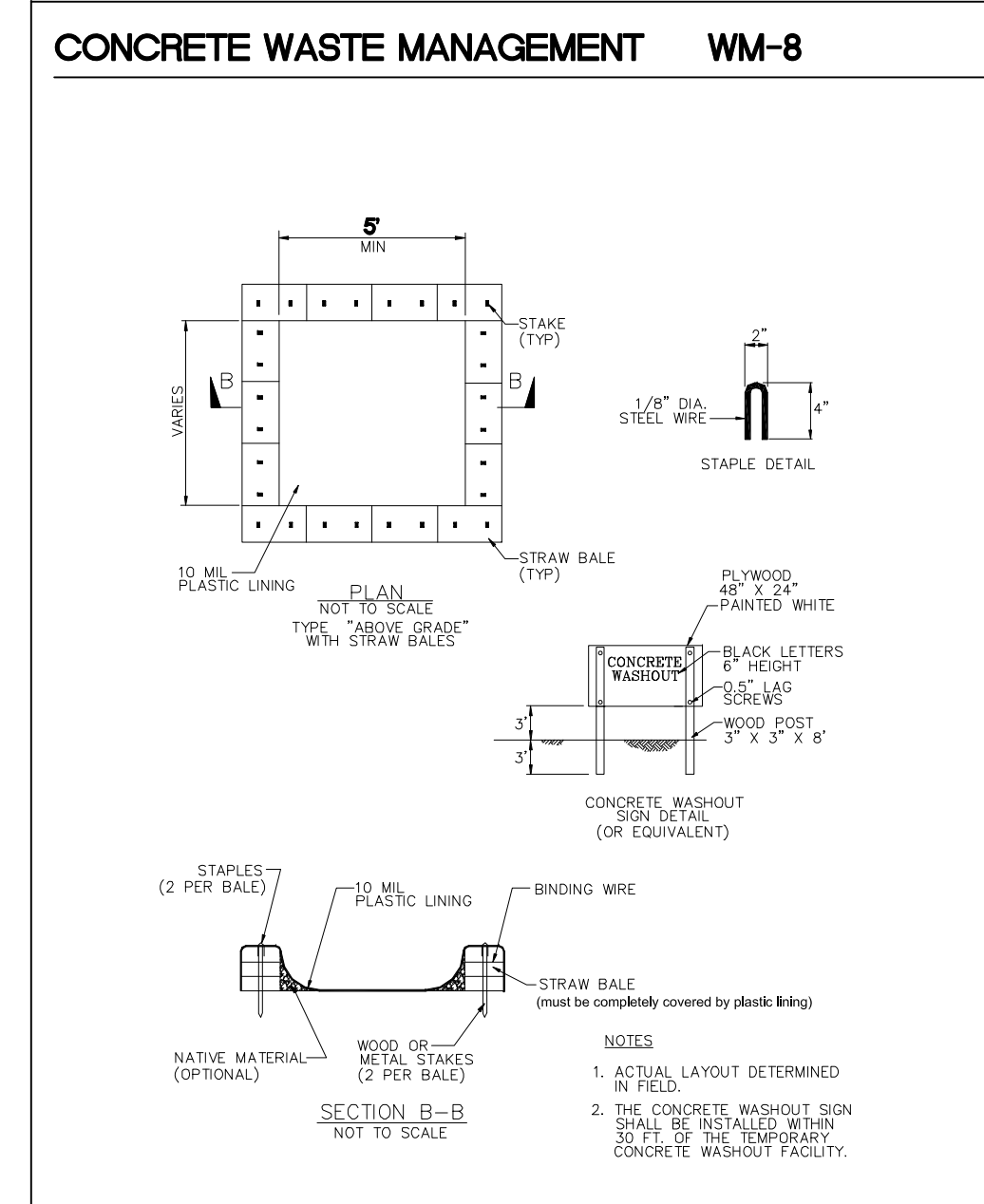
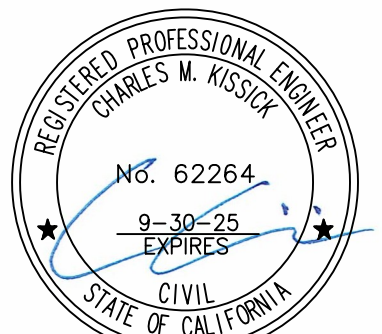
**GENERAL EROSION AND SEDIMENT CONTROL NOTES**

- FIBER ROLL INSTALL AT LOCATIONS SHOWN. AFFIX AS SHOWN IN DETAIL SE-5
- There will be no stockpiling of soil. All excavated soil will be hauled off-site as it is excavated.
- Perform clearing and earth-moving activities only during dry weather. Measures to ensure adequate erosion and sediment control shall be installed prior to earth-moving activities and construction.
- Erosion control materials to be on-site during off-season.
- Measures to ensure adequate erosion and sediment control are required year-round. Stabilize all denuded areas and maintain erosion control measures continuously between October 1 and April 30.
- Store, handle, and dispose of construction materials and wastes properly, so as to prevent their contact with stormwater.
- Control and prevent the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges to storm drains and watercourses.
- Avoid cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
- Limit and time applications of pesticides and fertilizers to prevent polluted runoff.
- Limit construction access routes to stabilized, designated access points
- Avoid tracking dirt or other materials off-site; clean off-site paved areas and sidewalks using dry sweeping methods.
- Train and provide instruction to all employees and subcontractors regarding the Watershed Protection Maintenance Standards and construction Best Management Practices.
- Placement of erosion materials is required on weekends and during rain events.
- The areas delineated on the plans for parking, grubbing, storage etc., shall not be enlarged or "run over."
- Dust control is required year-round.
- Erosion control materials shall be stored on-site.
- There will be no trees or driplines on the site.

**EROSION CONTROL POINT OF CONTACT**

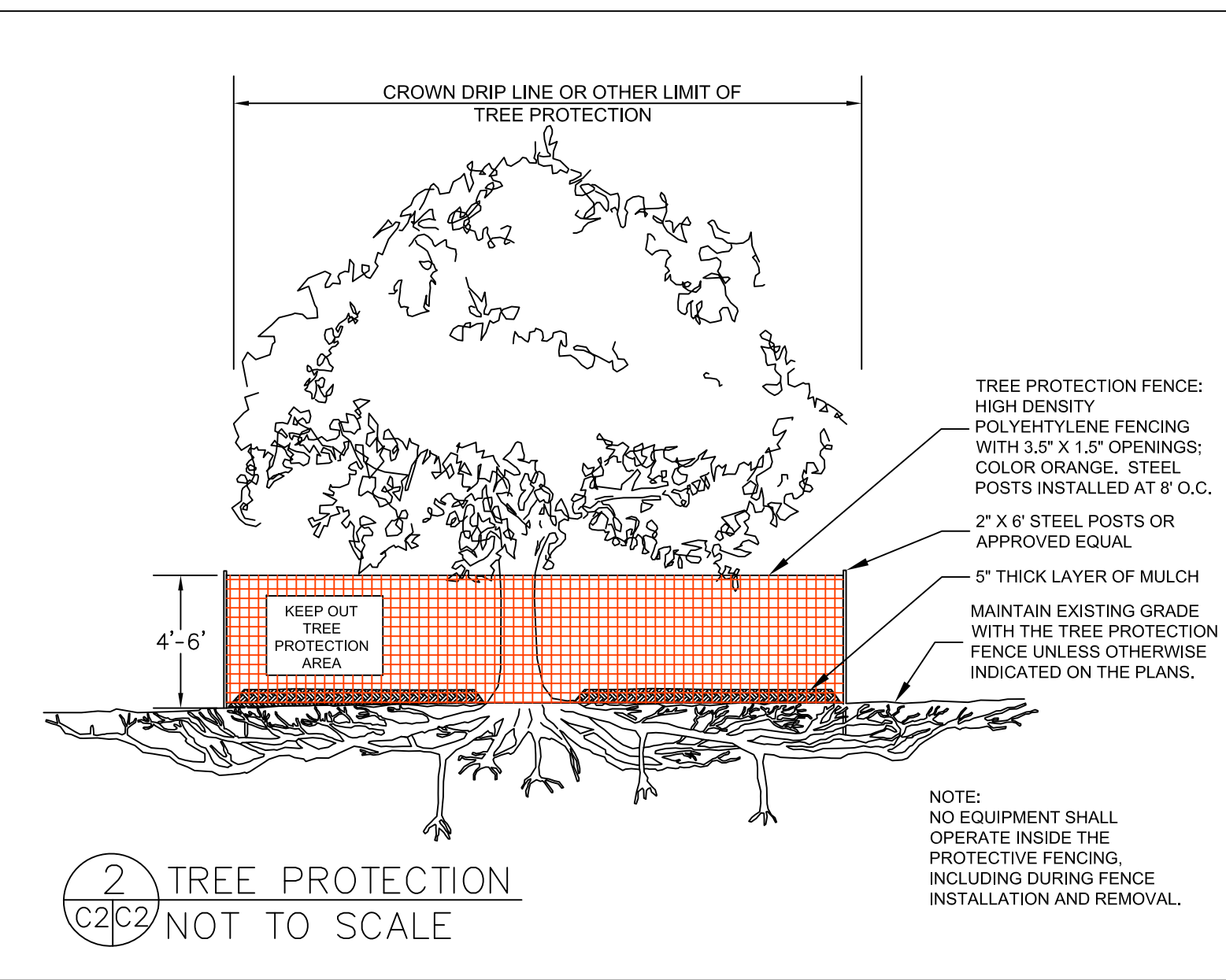
THIS PERSON WILL BE RESPONSIBLE FOR EROSION CONTROL AT THE SITE AND WILL BE THE COUNTY'S MAIN POINT OF CONTACT IF CORRECTIONS ARE REQUIRED.

NAME: CHARLES KISSICK  
 TITLE/QUALIFICATION: PROJECT CIVIL  
 PHONE: 650-728-3590  
 PHONE:  
 E-MAIL: SIGMAPRM@GMAIL.COM



**TREE PROTECTION NOTES**

- TREE PROTECTION FENCING SHALL BE INSTALLED PRIOR TO ANY GRADING AND REMAIN ON-SITE THROUGHOUT CONSTRUCTION PROCESS.
- TREE PROTECTION FENCES SHALL BE INSTALLED AS CLOSE TO DRIP LINES AS POSSIBLE.
- OWNER/BUILDER SHALL MAINTAIN TREE PROTECTION ZONES FREE OF EQUIPMENT AND MATERIALS STORAGE AND SHALL NOT CLEAN ANY EQUIPMENT WITHIN THESE AREAS.
- ANY LARGE ROOTS THAT NEED TO BE CUT SHALL BE INSPECTED BY A CERTIFIED ARBORIST OR REGISTERED FORESTER PRIOR TO CUTTING, AND MONITORED AND DOCUMENTED.
- ROOTS TO BE CUT SHALL BE SEVERED WITH A SAW OR TOPPER.
- PRE-CONSTRUCTION SITE INSPECTION WILL BE REQUIRED PRIOR TO ISSUANCE OF BUILDING PERMIT.



EROSION AND SEDIMENT CONTROL PLAN	DATE: 5-31-23	CHECKED BY: AZG
	DRAWN BY: CMK	REV. DATE: 8-26-23
		REV. DATE: 10-26-23
		REV. DATE: 11-29-23
SIGMA PRIME GEOSCIENCES, INC. SIGMA PRIME GEOSCIENCES, INC. 332 PRINCETON AVENUE HALF MOON BAY, CA 94019 (650) 728-3590 FAX 728-3593		
2ND STREET MONTARA, CALIFORNIA APN: 036-014-200, 210		
<b>SHEET</b> <b>C-2</b>		



SAN MATEO COUNTYWIDE

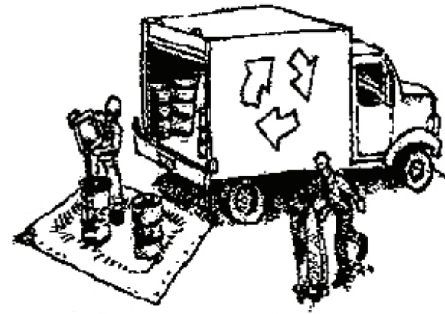
# Water Pollution Prevention Program

Clean Water. Healthy Community.

# Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

## Materials & Waste Management



### Non-Hazardous Materials

- Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- Use (but don't overuse) reclaimed water for dust control.

### Hazardous Materials

- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- Arrange for appropriate disposal of all hazardous wastes.

### Waste Management

- Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

### Construction Entrances and Perimeter

- Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

## Equipment Management & Spill Control



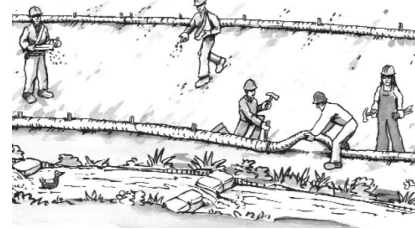
### Maintenance and Parking

- Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.

### Spill Prevention and Control

- Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- Clean up spills or leaks immediately and dispose of cleanup materials properly.
- Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

## Earthmoving



- Schedule grading and excavation work during dry weather.
- Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel bags, berms, etc.
- Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

### Contaminated Soils

- If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
  - Unusual soil conditions, discoloration, or odor.
  - Abandoned underground tanks.
  - Abandoned wells
  - Buried barrels, debris, or trash.

## Paving/Asphalt Work



- Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- Do not use water to wash down fresh asphalt concrete pavement.

### Sawcutting & Asphalt/Concrete Removal

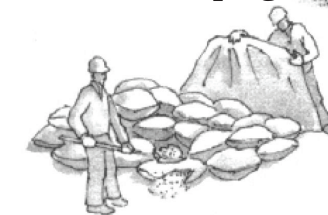
- Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- If sawcut slurry enters a catch basin, clean it up immediately.

## Concrete, Grout & Mortar Application



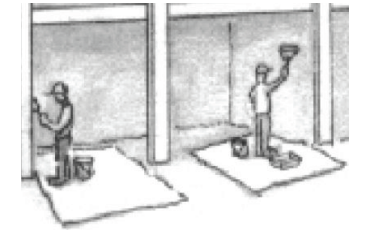
- Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

## Landscaping



- Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- Stack bagged material on pallets and under cover.
- Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

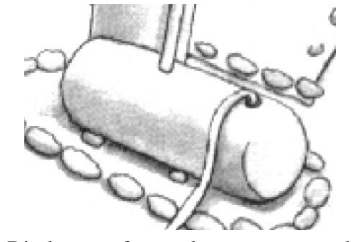
## Painting & Paint Removal



### Painting Cleanup and Removal

- Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

## Dewatering



- Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- Divert run-on water from offsite away from all disturbed areas.
- When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

**Storm drain polluters may be liable for fines of up to \$10,000 per day!**