

PROPOSED NEW RESIDENCE

APN: 047-122-010

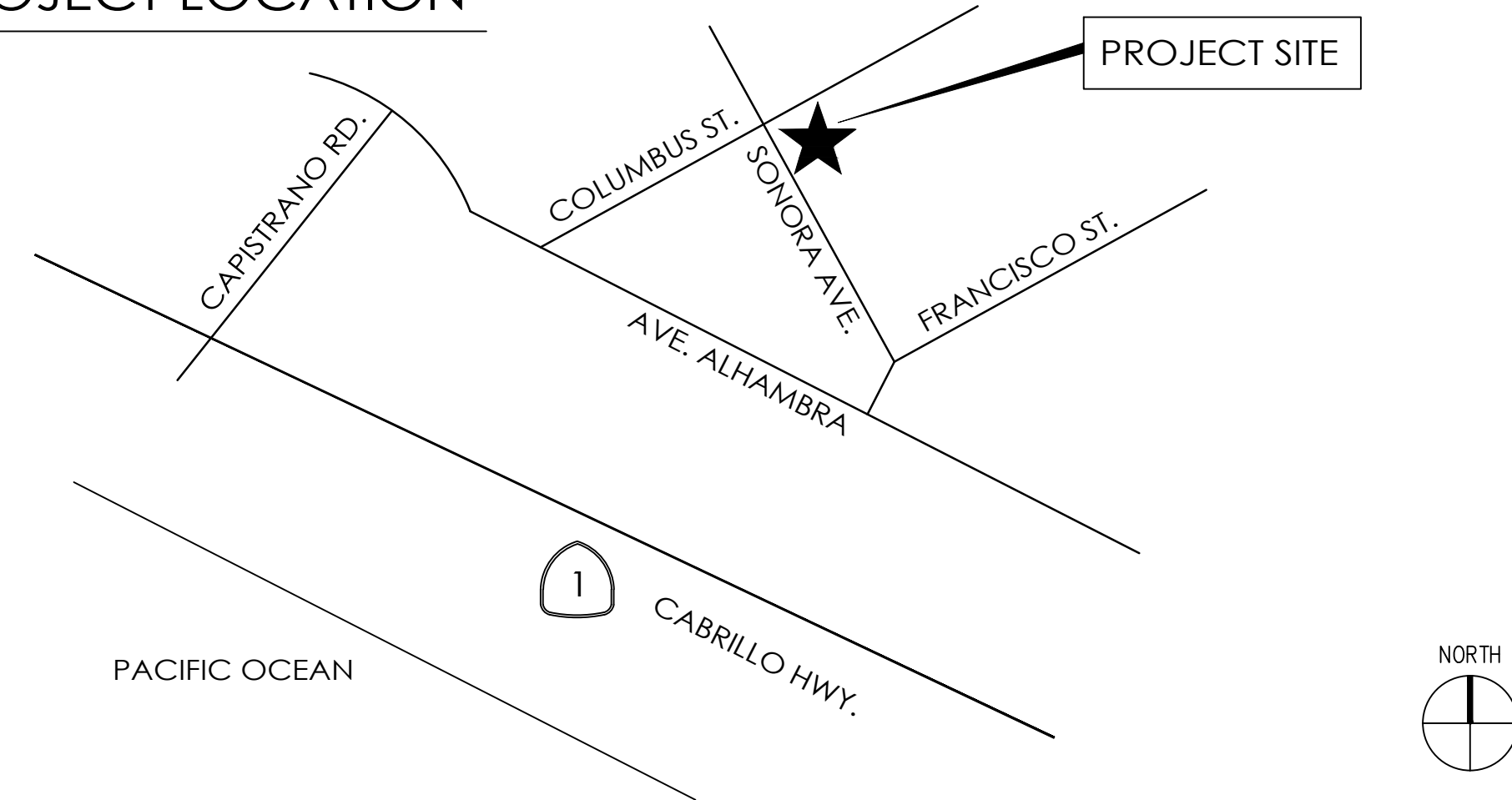
T.B.D. Sonora Ave. - Lot 16

El Granada, CA 94018

SHEET INDEX

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PROJECT LOCATION



PROJECT DATA

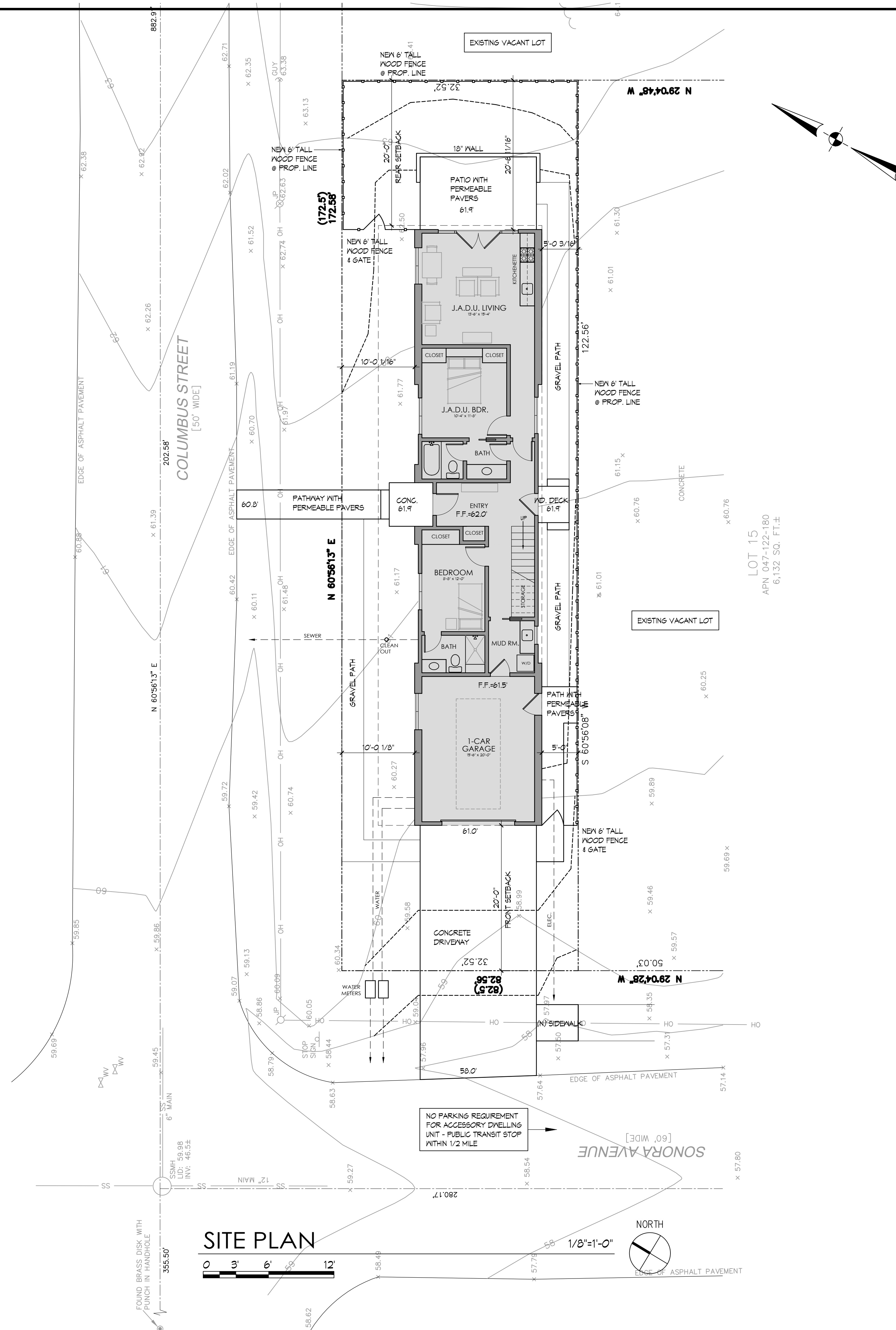
ZONING	R-1/S-17
SITE AREA	3,986 S.F.
ALLOWABLE FLOOR AREA	1,913.2 S.F. (48% OF SITE AREA)
PROJECT FLOOR AREA	1,884 S.F. (47.2% OF SITE AREA)
ALLOWABLE COVERAGE	1,395.1 S.F. (35% OF SITE AREA)
PROJECT COVERAGE	1,227 S.F. (30.7% OF SITE AREA)
ALLOWABLE IMPERVIOUS	398.6 S.F. (10% OF SITE AREA)
PROJECT IMPERVIOUS	390 S.F. (9.7% OF SITE AREA)

FLOOR AREA - LIVING	
FIRST FLOOR - LIVING	499 S.F.
SECOND FLOOR - LIVING	1,039 S.F.
TOTAL - LIVING	1,538 S.F.

FLOOR AREA - GARAGE	346 S.F.
JR. ACCESSORY DWELLING UNIT	495 S.F.

SITE COVERAGE	
TOTAL	1,227 S.F.
(BUILDING FOOTPRINT & PORCH)	

IMPERVIOUS SURFACE	
TOTAL	390 S.F.
(PATIOS, WALKS)	



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PROJECT

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SHEET TITLE

SITE PLAN

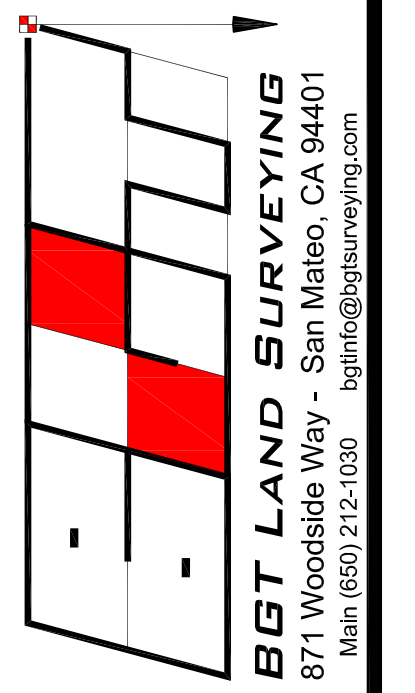
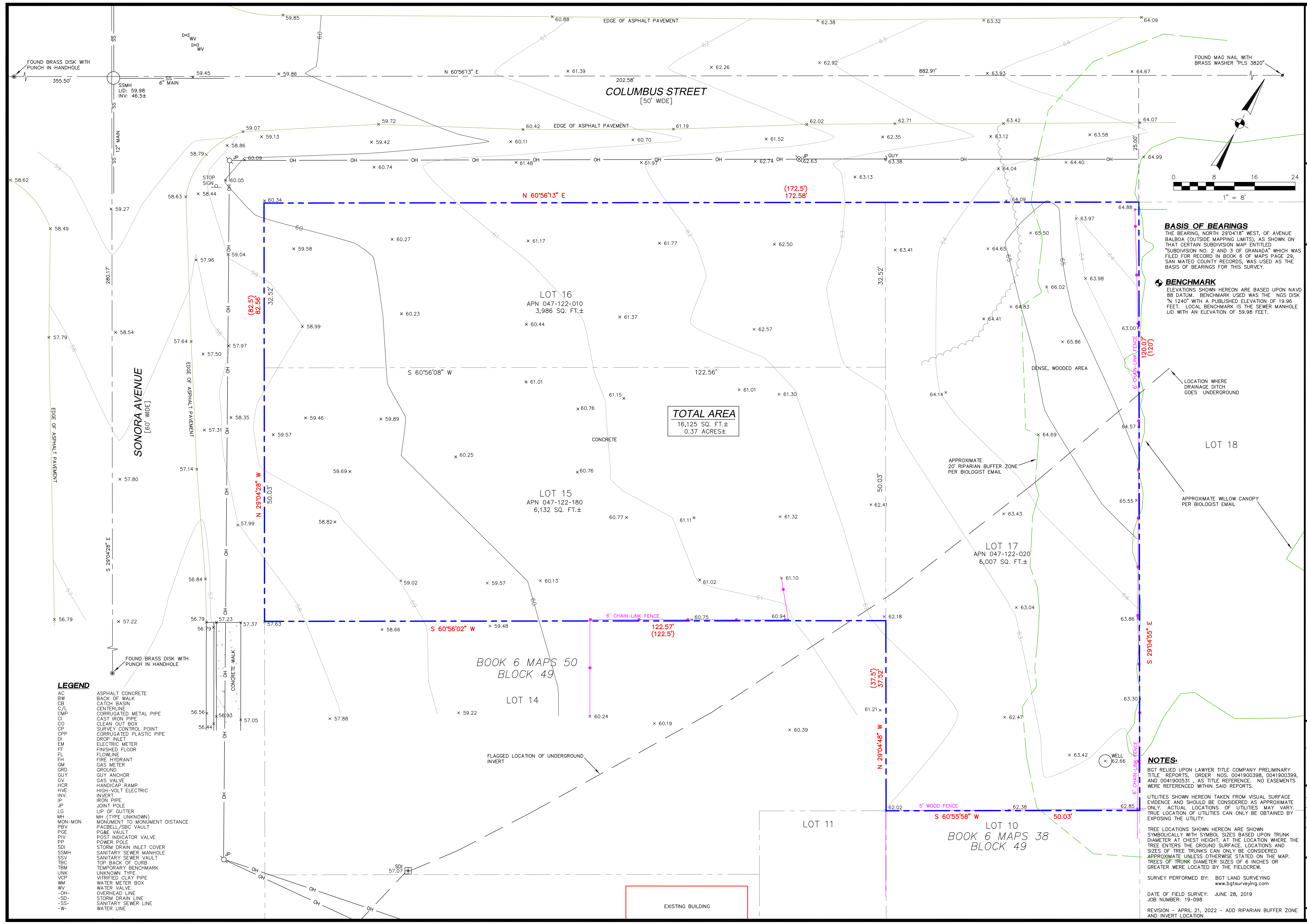
REVISIONS

No.	Date	Notes

PROJECT #: 2022.12

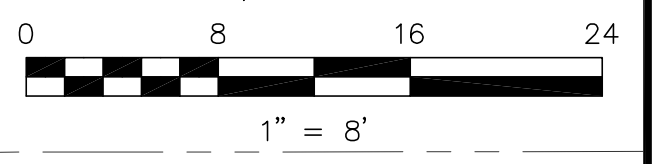
DATE: MAY 2024

SHEET #: SD-1



BASIS OF BEARINGS
THE BEARING, NORTH 29°04'18" WEST, OF AVENUE BALBOA (OUTSIDE MAPPING LIMITS), AS SHOWN ON THAT CERTAIN SUBDIVISION MAP ENTITLED "SUBDIVISION NO. 2 AND 3 OF GRANADA" WHICH WAS FILED FOR RECORD IN BOOK 6 OF MAPS PAGE 29, SAN MATEO COUNTY RECORDS, WAS USED AS THE BASIS OF BEARINGS FOR THIS SURVEY.

BENCHMARK
ELEVATIONS SHOWN HEREON ARE BASED UPON NAVD 88 DATUM. BENCHMARK USED WAS THE NOS DISK "N 1240" WITH A PUBLISHED ELEVATION OF 19.96 FEET. LOCAL BENCHMARK IS THE SEWER MANHOLE LID WITH AN ELEVATION OF 59.98 FEET.



BOUNDARY AND TOPOGRAPHIC SURVEY
LOTS 15-17, BLOCK 49, "SUBDIVISION NO. 5 GRANADA" (BOOK 6 MAPS 50)

130 SONORA AVENUE
EL GRANADA, SAN MATEO COUNTY, CALIFORNIA

NOTES:

BGT RELIED UPON LAWYER TITLE COMPANY PRELIMINARY TITLE REPORTS, ORDER NOS. 0041900398, 0041900399, AND 0041900351, AS TITLE REFERENCE. NO EASEMENTS WERE REFERENCED WITHIN SAID REPORTS.

UTILITIES SHOWN HEREON TAKEN FROM VISUAL SURFACE EVIDENCE AND SHOULD BE CONSIDERED AS APPROXIMATE ONLY. ACTUAL LOCATIONS OF UTILITIES MAY VARY. TRUE LOCATION OF UTILITIES CAN ONLY BE OBTAINED BY EXPOSING THE UTILITY.

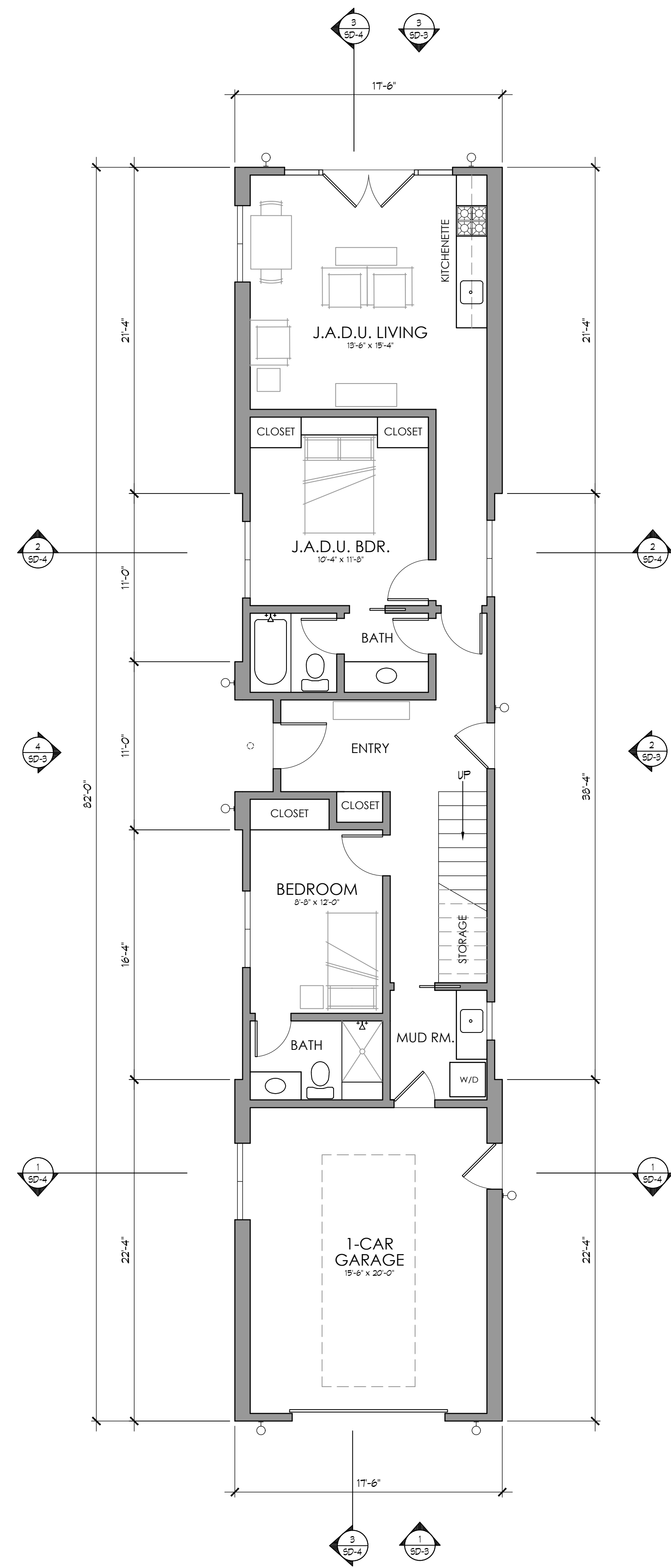
TREE LOCATIONS SHOWN HEREON ARE SHOWN SYMBOLICALLY WITH SYMBOL SIZES BASED UPON TRUNK DIAMETER AT CHEST HEIGHT, AT THE LOCATION WHERE THE TREE ENTERS THE GROUND SURFACE. LOCATIONS AND SIZES OF TREE TRUNKS CAN ONLY BE CONSIDERED APPROXIMATE UNLESS OTHERWISE STATED ON THE MAP. TREES OF TRUNK DIAMETER SIZES OF 6 INCHES OR GREATER WERE LOCATED BY THE FIELDCREW.

SURVEY PERFORMED BY: BGT LAND SURVEYING
www.bgtsurveying.com

DATE OF FIELD SURVEY: JUNE 28, 2019
JOB NUMBER: 19-098

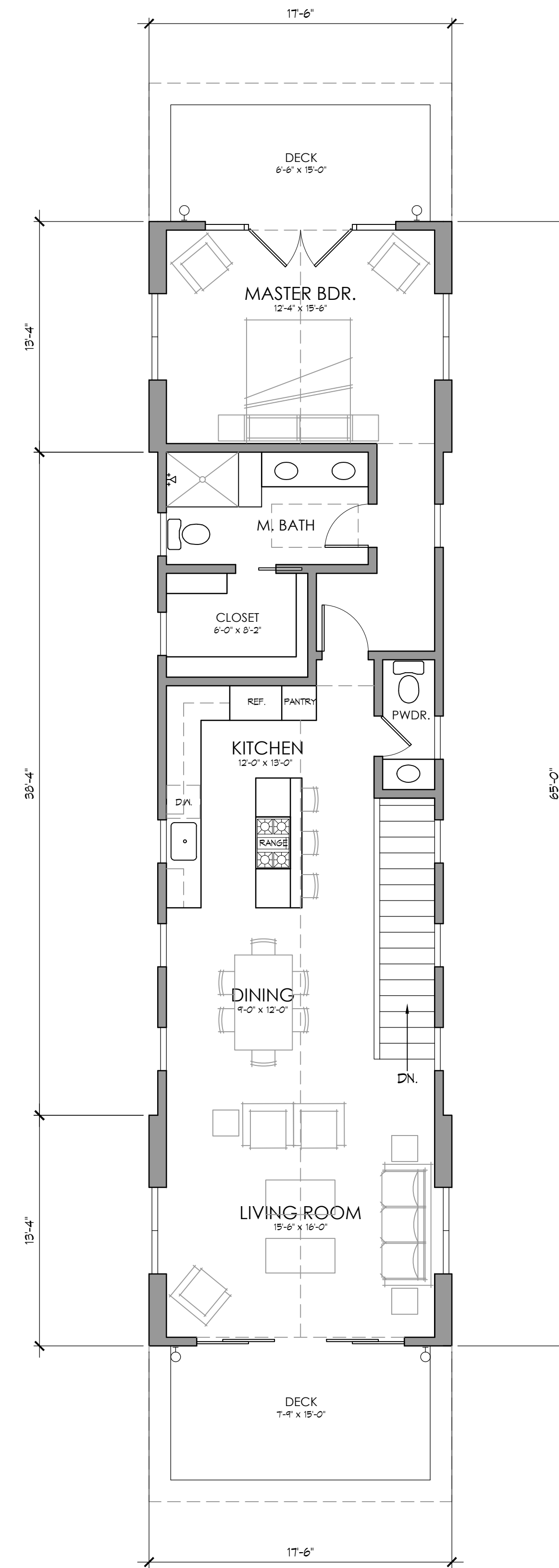
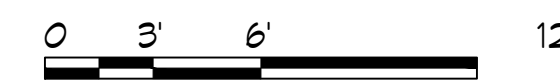
REVISION - APRIL 21, 2022 - ADD RIPARIAN BUFFER ZONE AND INVERT LOCATION

Assessor Parcel Number:	047-122-010 047-122-020 047-122-180
Prepared For:	TONY UCCELLI 575 Alameda de las Pulgas San Carlos, CA 94070
Date:	OCT. 2022
Scale:	1" = 8'
Contour Interval:	1'
Drawn by:	LHL
Revisions:	APRIL, 2022
SU-1	
Job No.	19-098



FIRST FLOOR PLAN

3/16"=1'-0"

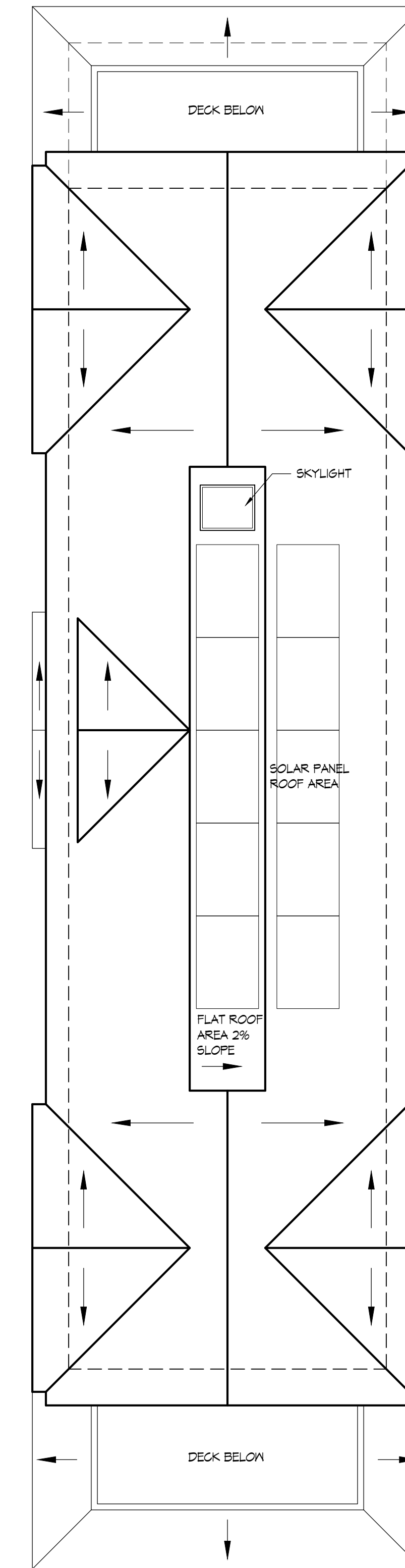


SECOND FLOOR PLAN

3/16"=1'-0"

EXTERIOR LIGHT FIXTURES

- WALL MOUNTED EXTERIOR LIGHT FIXTURE
DARK SKY DOWNLIGHT (SEE ELEVS ON SD-3)
- RECESSED EXTERIOR SOFFIT LIGHT FIXTURE
LED DOWNLIGHT



ROOF PLAN

3/16"=1'-0"

SOLAR ROOF CALCS

REQUIRED:
ROOF:
PV SOLAR PANTS = (1.12 x 628 x 2.523 S.F./1000)
PV KW REQ'D = 2.1 KW

PROVIDED:
(10) 210 KW (MIN.) PANELS TO BE MOUNTED
ON ROOF OF HOUSE

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PROJECT

New Residence

APN: 047-122-010
T.B.D. Sonora Ave. - Lot 16
El Granada, CA 94018

SHEET TITLE

FLOOR PLANS & ROOF PLAN

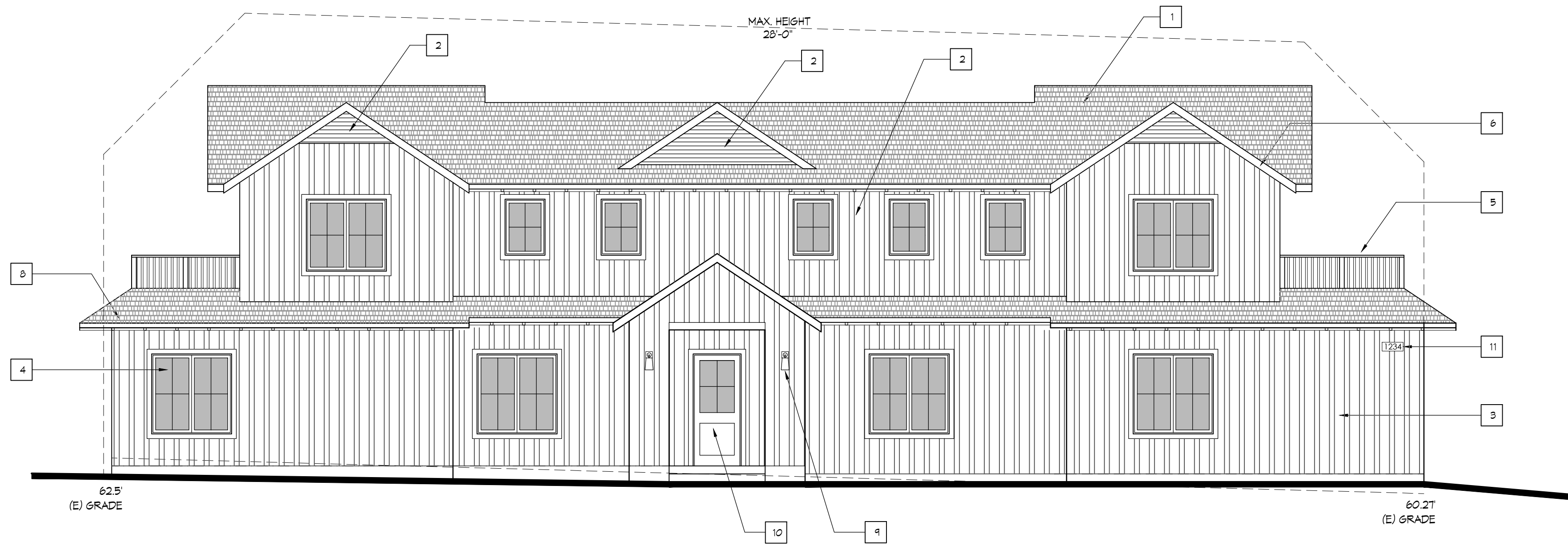
REVISIONS

No.	Date	Notes

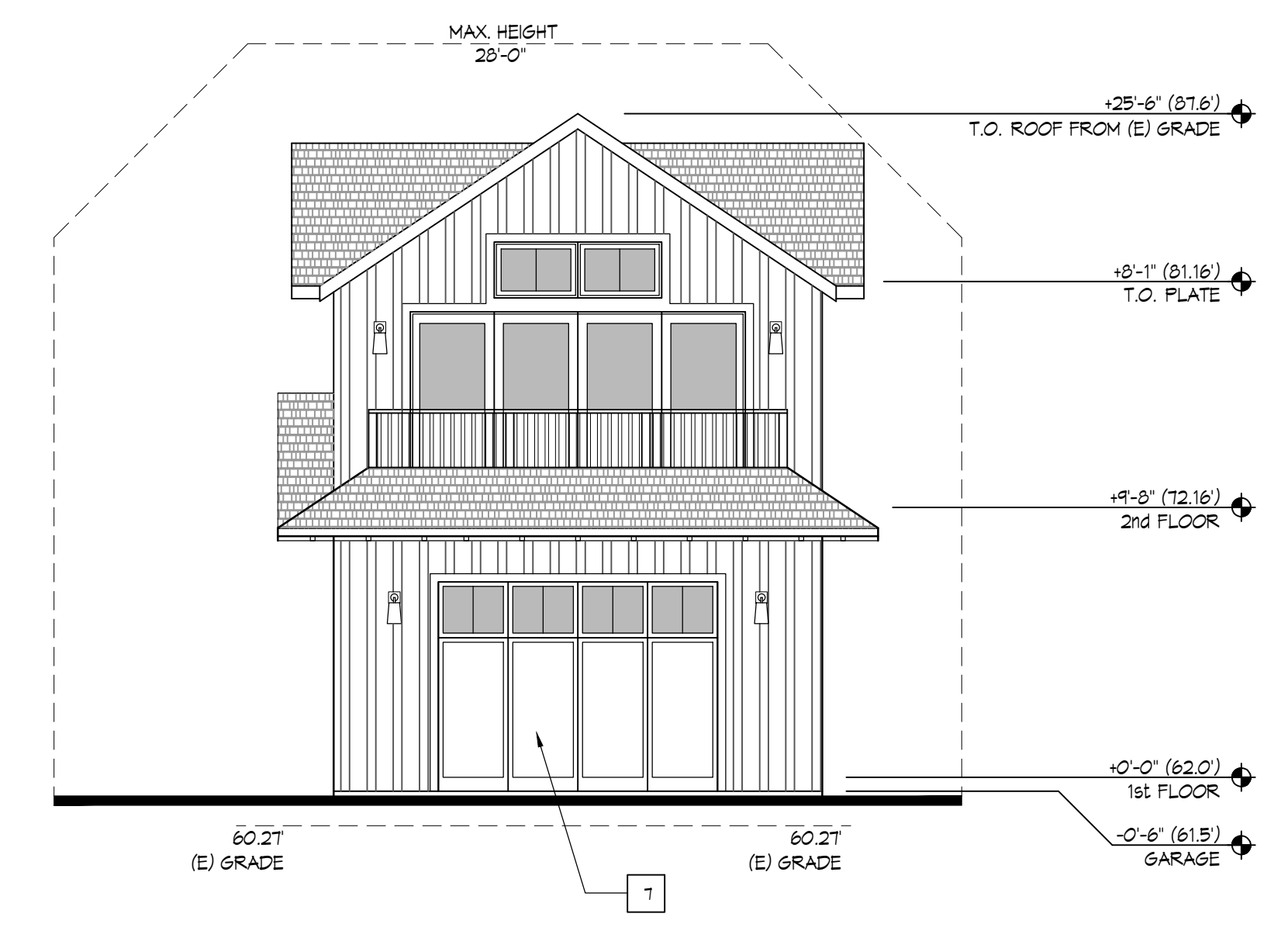
PROJECT #: 2022.12

DATE: MAY 2024

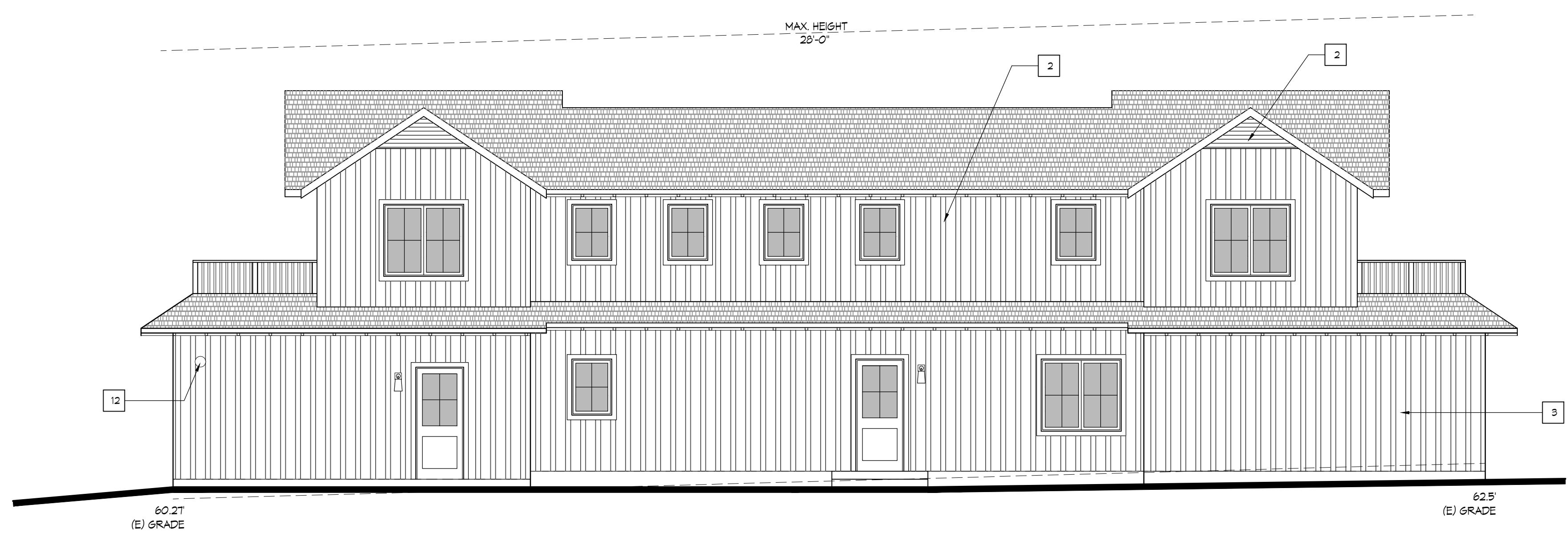
SHEET #: SD-2



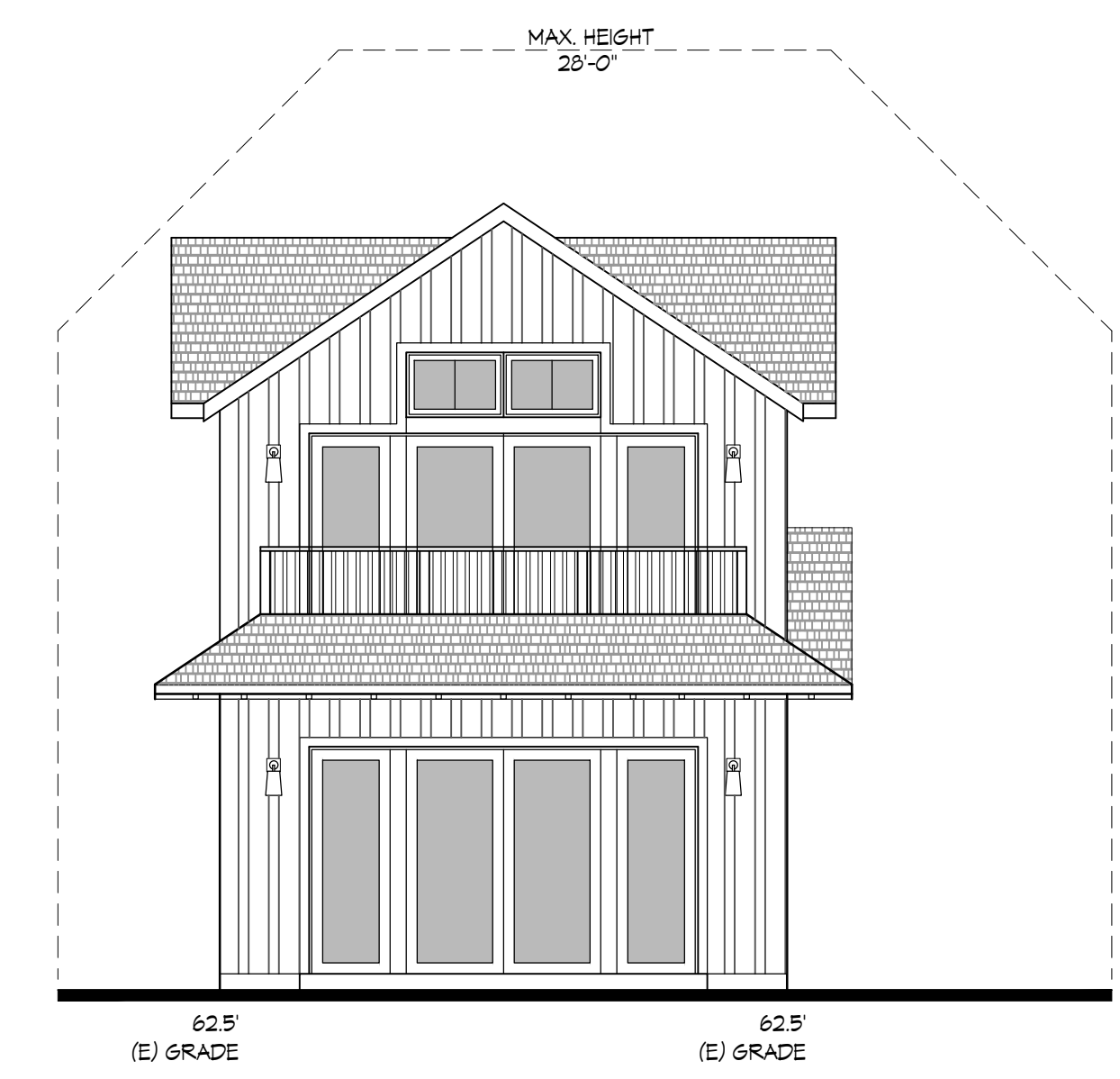
1 FRONT ELEVATION
COLUMBUS ST. (NORTHWEST)
3/16"=1'-0"
0 3' 6' 12'



2 SIDE ELEVATION
SONORA AVE. (SOUTHWEST)
3/16"=1'-0"



3 REAR ELEVATION
(SOUTHEAST)
3/16"=1'-0"



4 SIDE ELEVATION
(NORTHEAST)
3/16"=1'-0"

KEYNOTES

- | | | |
|---|--|--------------------------------|
| 1 COMPOSITION SHINGLE ROOF
GAF TIMBERLINE SLATE | 6 TRIM, FASCIA & EAVES W/ PAINTED FINISH
BENJAMIN MOORE, PATRIOTIC WHITE #2135-10 | 11 ILLUMINATED ADDRESS NUMBERS |
| 2 WOOD SIDING W/ PAINTED FINISH
BENJAMIN MOORE, PATRIOTIC WHITE #2135-10 | 7 WOOD GARAGE DOOR WITH PAINTED FINISH
BENJAMIN MOORE, PATRIOTIC WHITE #2135-10 | 12 PROPOSED FIRE BELL LOCATION |
| 3 BOARD ON BOARD SIDING W/ PAINTED FINISH
BENJAMIN MOORE, WEDGEWOOD GRAY #HC-146 | 8 HALF ROUND GUTTER, PAINTED | |
| 4 MILGARD TRISIC VINYL WINDOWS & DOORS
WHITE COLOR | 9 WALL MOUNTED DARK SKY LIGHT FIXTURE | |
| 5 WOOD RAILINGS @ DECK, PAINTED
BENJAMIN MOORE, PATRIOTIC WHITE #2135-10 | 10 WOOD FRONT DOOR WITH PAINTED FINISH
BENJAMIN MOORE, HALE NAVY #HC-154 | |

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SHEET TITLE

EXTERIOR ELEVATIONS

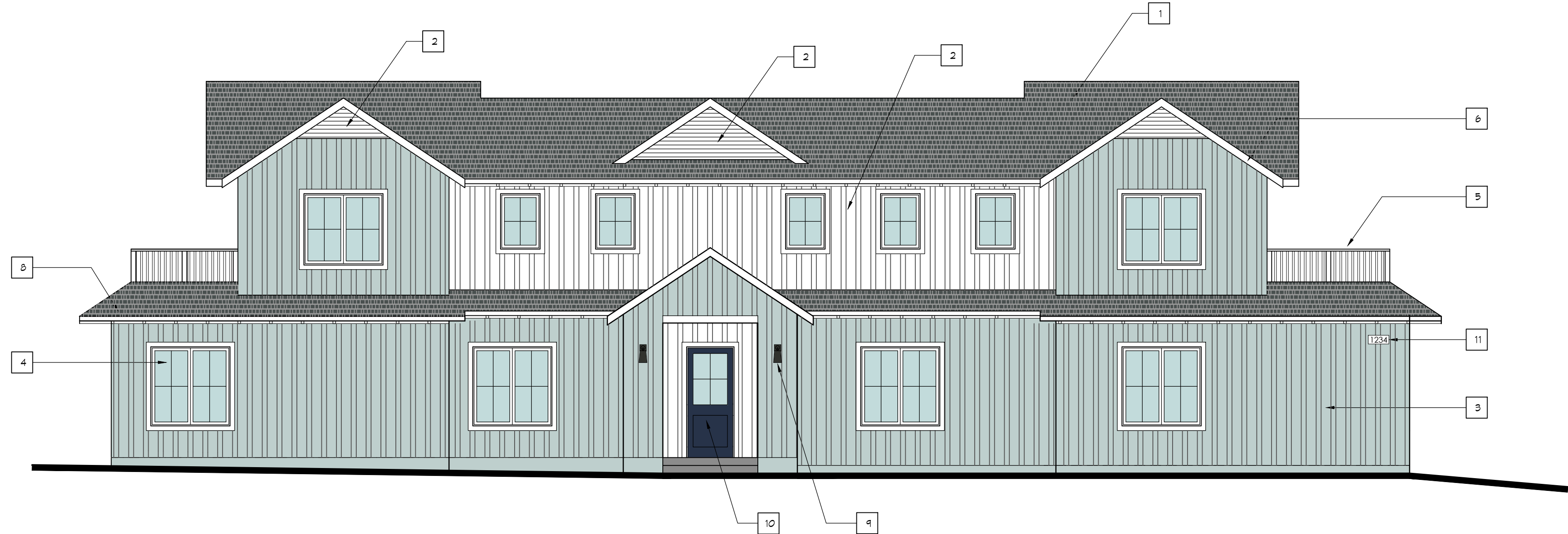
REVISIONS

No.	Date	Notes

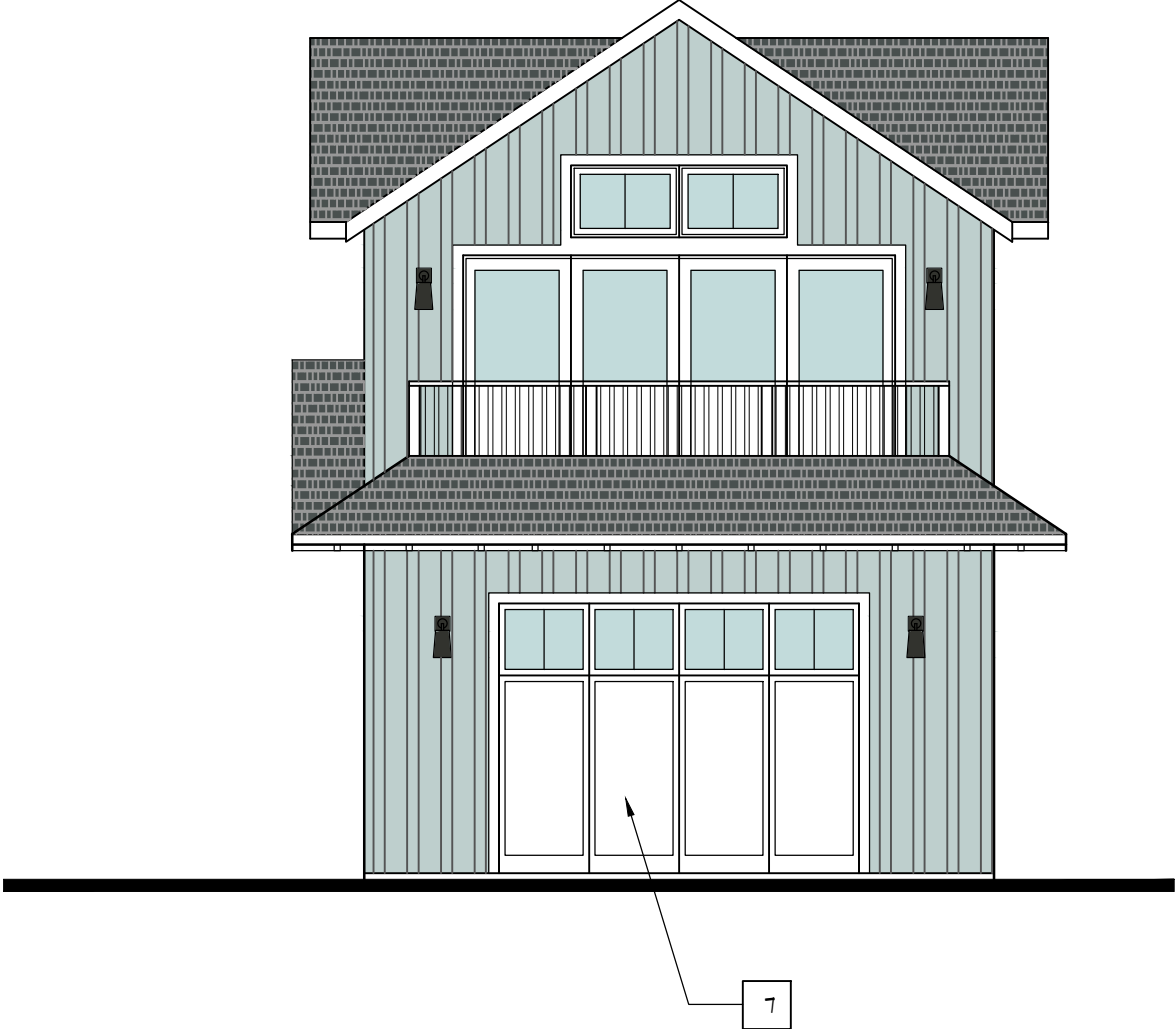
PROJECT #: 2022.12

DATE: MAY 2024

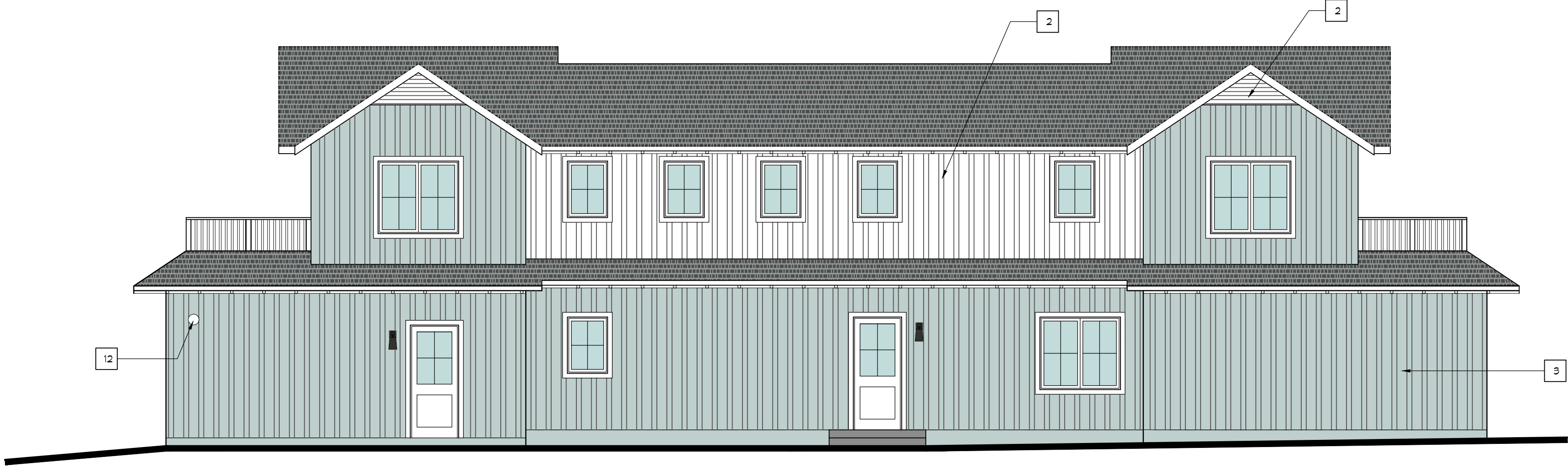
SHEET #: SD-3.1



1 FRONT ELEVATION
COLUMBUS ST. (NORTHWEST) 3/16"=1'-0"



2 SIDE ELEVATION
SONORA AVE. (SOUTHWEST) 3/16"=1'-0"



3 REAR ELEVATION
(SOUTHEAST) 3/16"=1'-0"



4 SIDE ELEVATION
(NORTHEAST) 3/16"=1'-0"

KEYNOTES

- 1 COMPOSITION SHINGLE ROOF
GAF TIMBERLINE SLATE
- 2 WOOD SIDING w/ PAINTED FINISH
BENJAMIN MOORE, PATRIOTIC WHITE #2135-10
- 3 BOARD ON BOARD SIDING w/ PAINTED FINISH
BENJAMIN MOORE, WEDGEWOOD GRAY #HG-146
- 4 MILGARD TRINIC VINYL WINDOWS & DOORS
WHITE COLOR
- 5 WOOD RAILING @ DECK, PAINTED
BENJAMIN MOORE, PATRIOTIC WHITE #2135-10
- 6 TRIM, FASCIA & EAVES w/ PAINTED FINISH
BENJAMIN MOORE, PATRIOTIC WHITE #2135-10
- 7 WOOD GARAGE DOOR WITH PAINTED FINISH
BENJAMIN MOORE, PATRIOTIC WHITE #2135-10
- 8 HALF ROUND GUTTER, PAINTED
- 9 WALL MOUNTED DARK SKY LIGHT FIXTURE
- 10 WOOD FRONT DOOR WITH PAINTED FINISH
BENJAMIN MOORE, HALE NAVY #HC-154
- 11 ILLUMINATED ADDRESS NUMBERS
- 12 PROPOSED FIRE BELL LOCATION

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SHEET TITLE

EXTERIOR ELEVATIONS

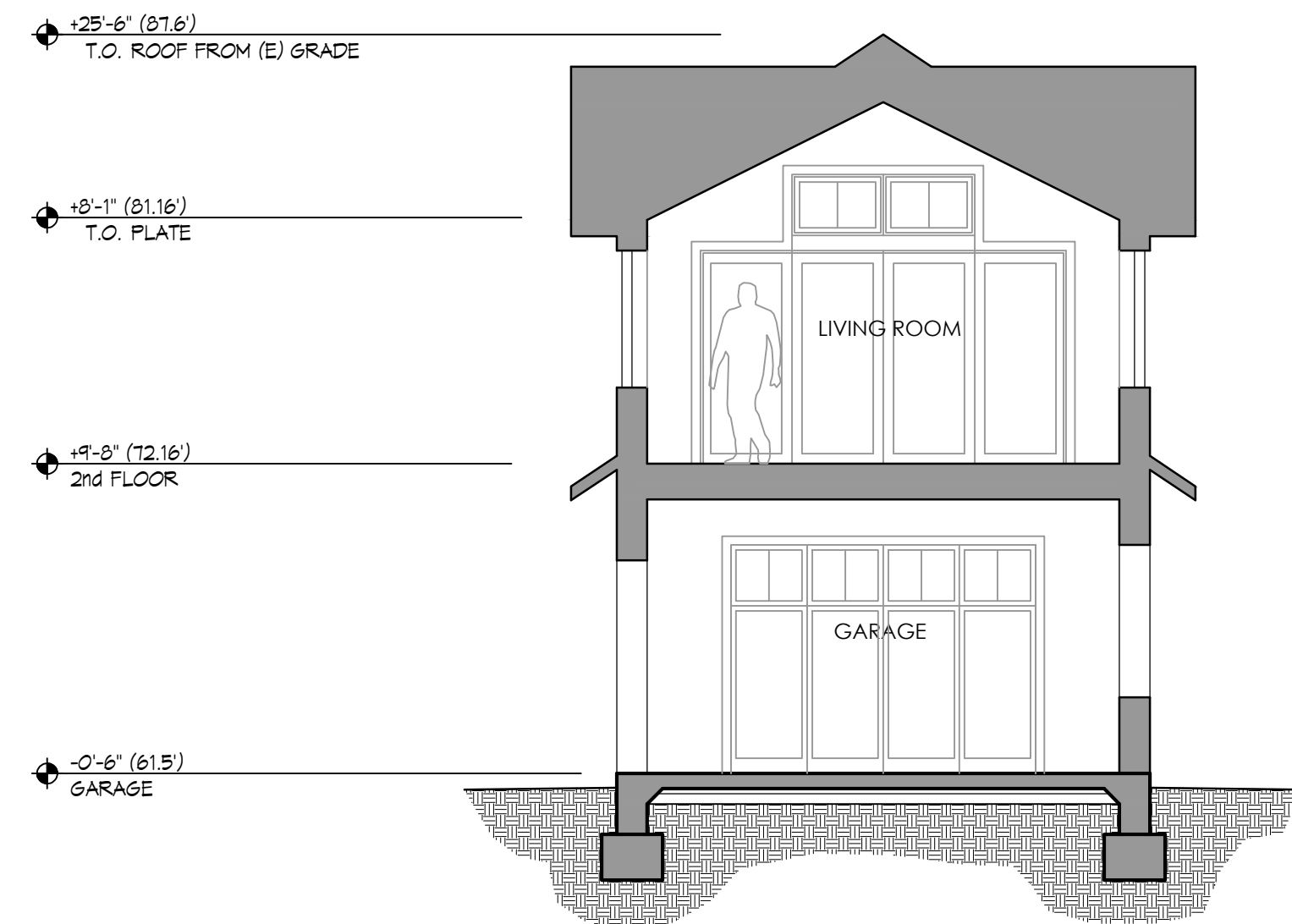
REVISIONS

No.	Date	Notes

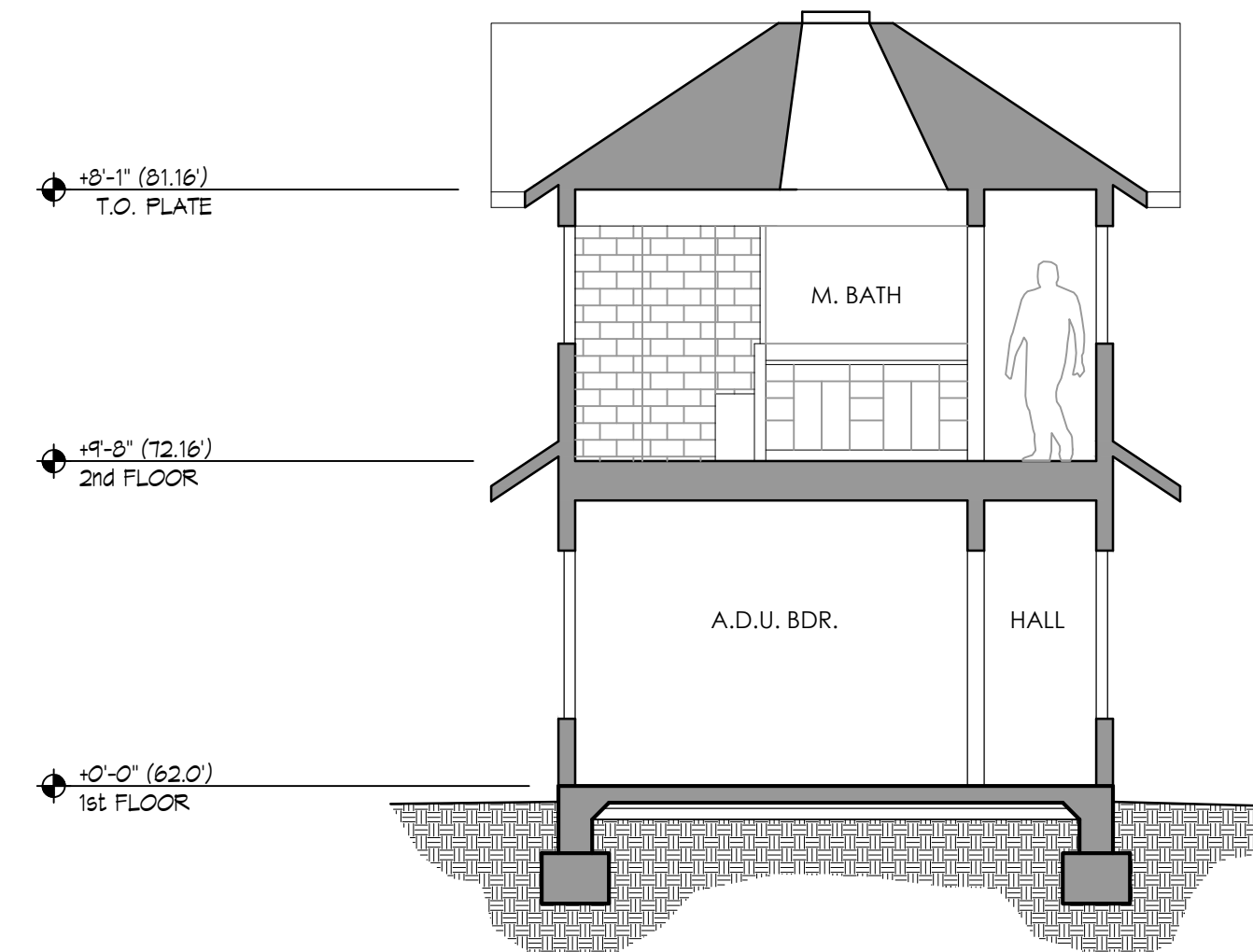
PROJECT #: 2022.12

DATE: MAY 2024

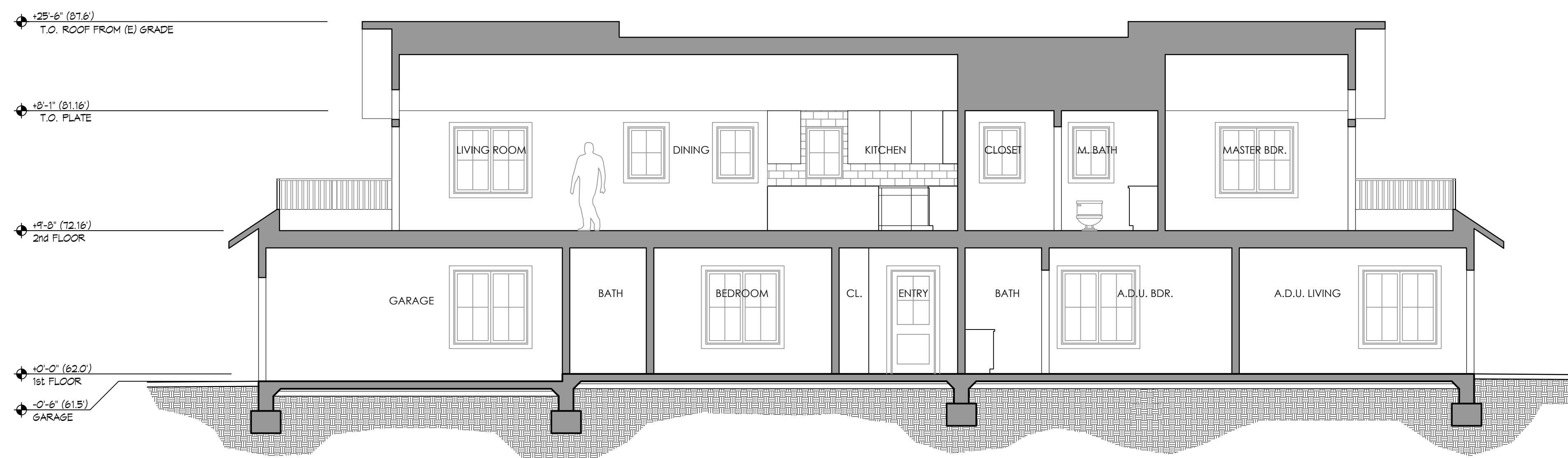
SHEET #: SD-3.2



1 SECTION 3/16"=1'-0"
 0 3' 6' 12'



2 SECTION 3/16"=1'-0"



3 SECTION 3/16"=1'-0"

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SHEET TITLE

BUILDING SECTIONS

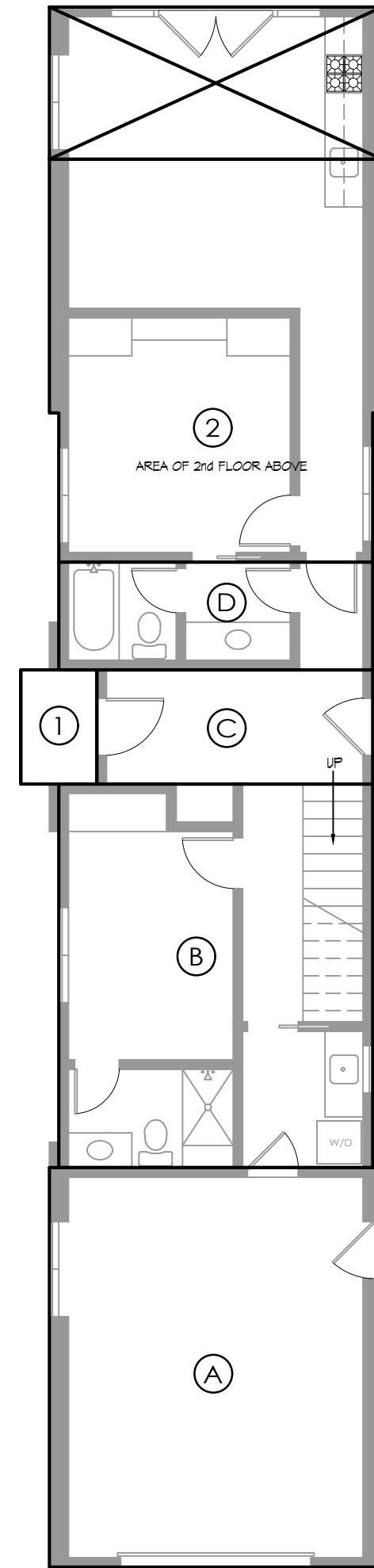
REVISIONS

No.	Date	Notes

PROJECT #: 2022.12

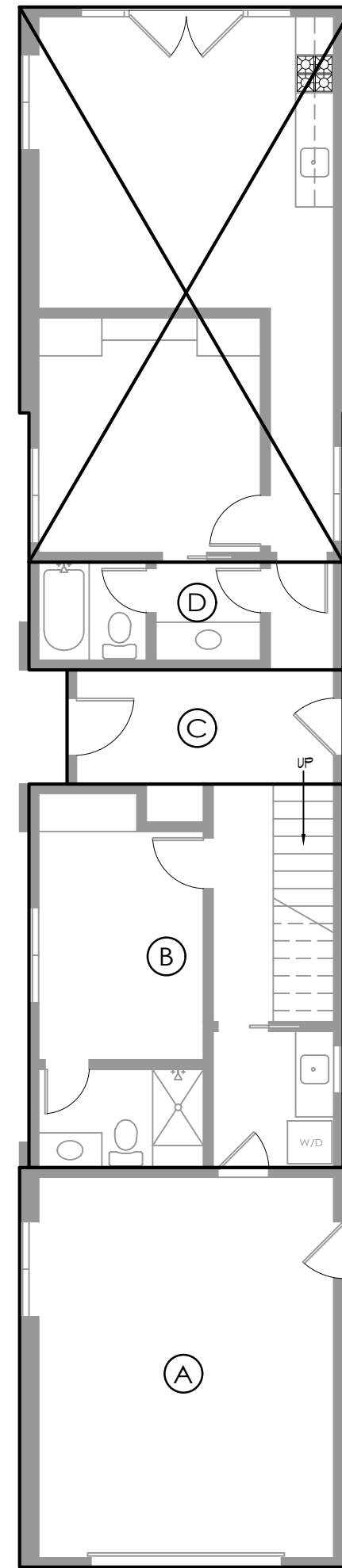
DATE: MAY 2024

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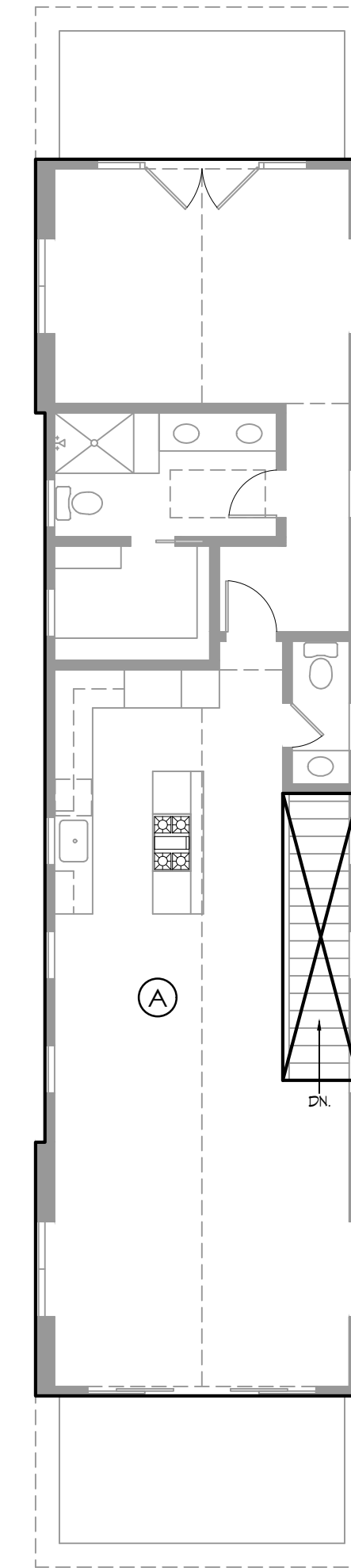


ACCESSORY DWELLING UNIT (A.D.U.) EXEMPT - 140 S.F.

AREA OF 2ND FLOOR ABOVE



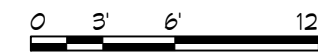
JUNIOR ACCESSORY DWELLING UNIT (J.A.D.U.) EXEMPT - 49 S.F.



2ND FLOOR STAIR EXEMPT

LOT COVERAGE 1/8"=1'-0"

FIRST FLOOR PLAN 1/8"=1'-0"



SECOND FLOOR PLAN 1/8"=1'-0"

PROPOSED FLOOR AREA

HOUSE 1,884 S.F.

ALLOWABLE FLOOR AREA

TOTAL 1,913.2 S.F.

FLOOR AREA CALCS

FIRST FLOOR

- (A) 346 S.F.
- (B) 325 S.F.
- (C) 84 S.F.
- (D) 90 S.F.

TOTAL = 845 S.F.

SECOND FLOOR

- (A) 1,039 S.F.

TOTAL = 1,039 S.F.

MAIN HOUSE TOTAL = 1,884 S.F.

PROPOSED COVERAGE

TOTAL 1,227 S.F.

ALLOWABLE COVERAGE

TOTAL 1,395.1 S.F.

COVERAGE CALCS

- (1) 21 S.F.
- (2) 361 S.F.

1st FLOOR AREAS A+B+C+D = 845 S.F.

MAIN HOUSE TOTAL = 1,227 S.F.

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SHEET TITLE

FLOOR AREA & COVERAGE

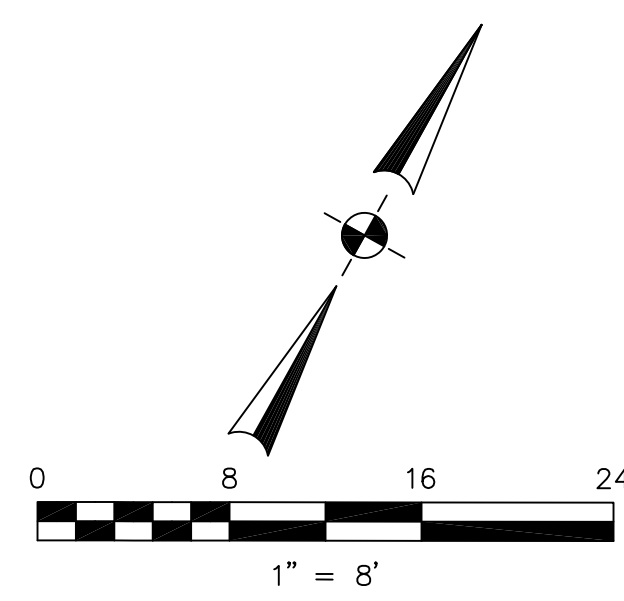
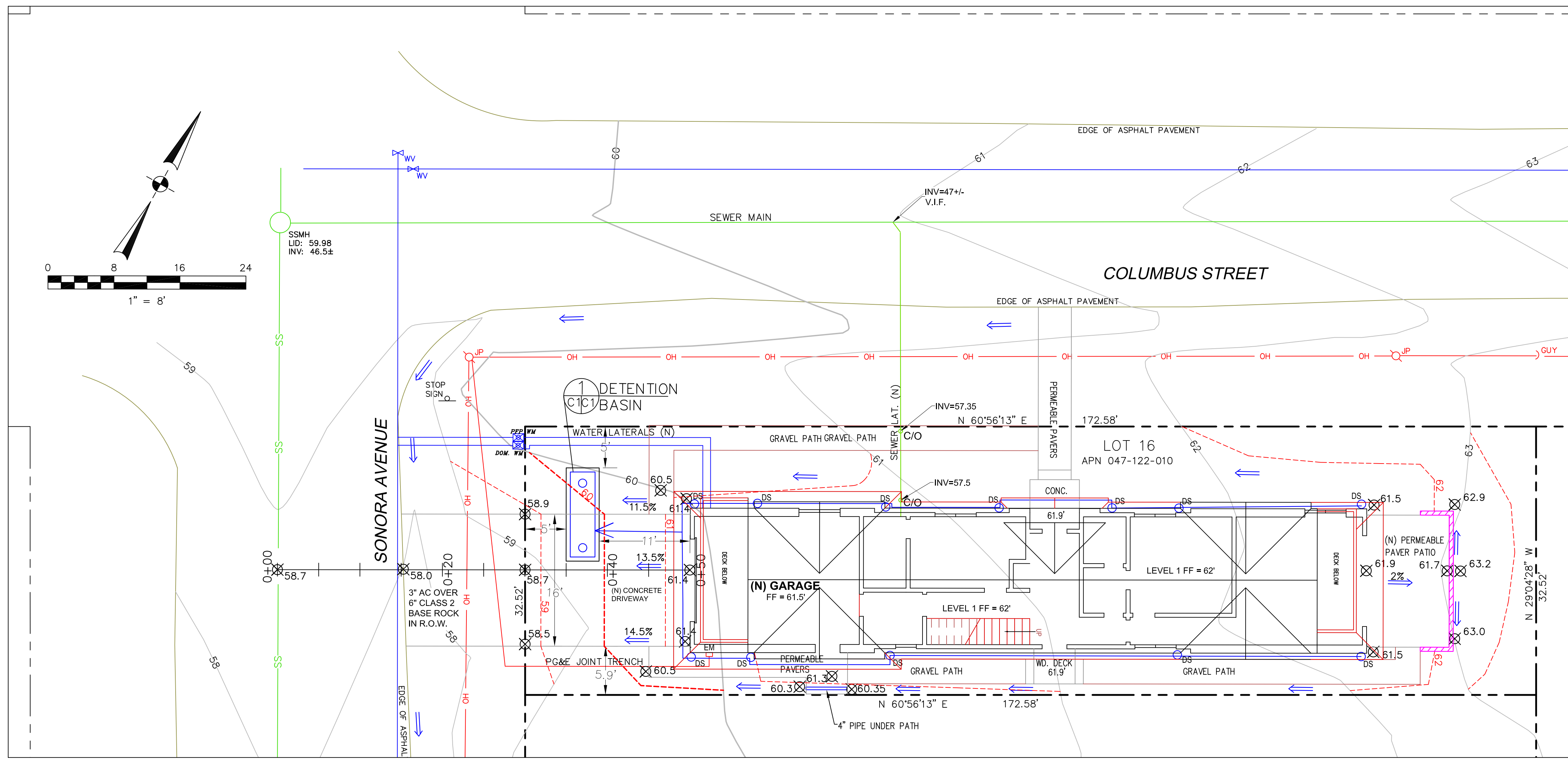
REVISIONS

No.	Date	Notes

PROJECT #: 2022.12

DATE: MAY 2024

SHEET #: SD-5



LEGEND

- EXISTING CONTOURS
- PROPOSED CONTOURS
- PROPOSED SPOT ELEVATION
61.3
- DOWNSPOUT
- 4" MIN SOLID DRAIN PIPE
- PROPOSED RETAINING WALL - MAX HEIGHT = 18'

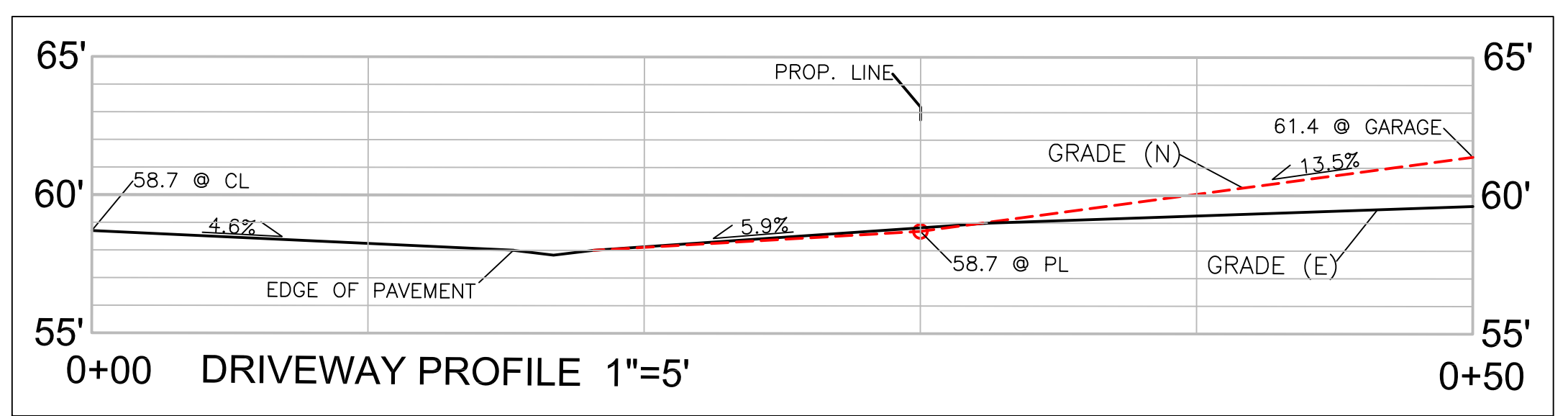
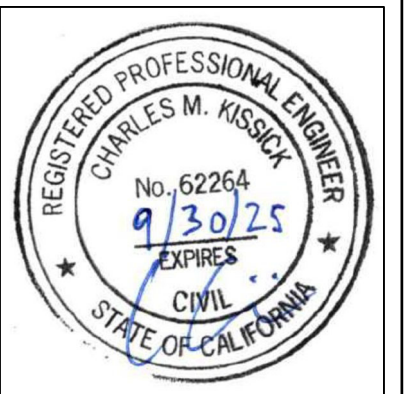
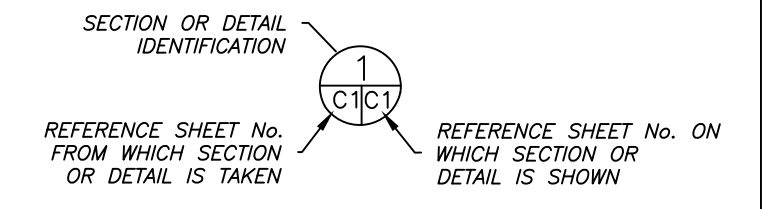
DRAINAGE NOTES

1. DRAINAGE INTENT: IT IS THE INTENT OF THE DRAINAGE SYSTEM TO CONVEY ROOF RUNOFF TO A SAFE LOCATION, AND TO MINIMIZE EXCESSIVE MOISTURE AROUND FOUNDATIONS. DIRECT SLOPES SUCH THAT STORMWATER WILL NOT BE DIVERTED ONTO ADJACENT PROPERTIES.
2. SMALL SIZE OF HOUSE ALLOWS FOR PRESCRIPTIVE DRAINAGE REQUIREMENTS, HOWEVER THERE IS NO ROOM FOR PRESCRIPTIVE DRAINAGE MEASURES. DETENTION BASIN IS SIZED BASED ON STANDARD DRAINAGE MEASURES.
3. ALL DOWNSPOUT DRAIN LINES SHALL LEAD TO DETENTION, AS SHOWN.
4. ALL ROOF DRAINAGE PIPES SHALL BE 4" DIAMETER MINIMUM SOLID PIPE, SLOPED AT 1% MINIMUM.
5. IT IS THE PROPERTY OWNER'S RESPONSIBILITY TO CHECK ON ALL STORMWATER FACILITIES SUCH AS ROOF GUTTERS, DOWNSPOUT LINES, AND THE DETENTION BASIN TO BE SURE THAT THEY ARE CLEAR OF EXCESSIVE DEBRIS AND OPERATING EFFICIENTLY. THE FACILITIES SHALL BE CHECKED EVERY FALL AND PERIODICALLY DURING THE RAINY SEASON.

GRADING NOTES

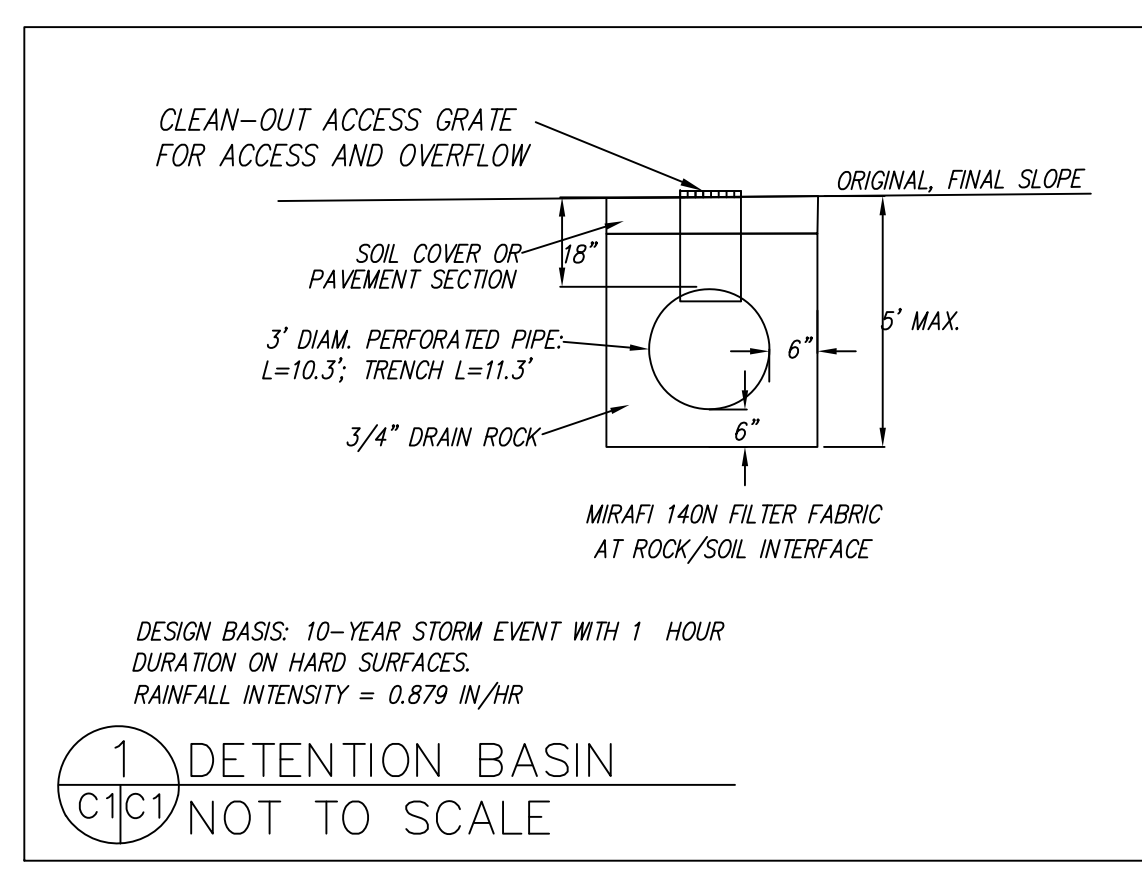
- CUT VOLUME : 30 CY
FILL VOLUME: 0 CY
- VOLUMES ABOVE ARE APPROXIMATE.
- THE SUBGRADE BELOW ALL PAVED AREAS SHALL BE BASEROCK COMPACTED TO 95%.
- ALL GRADING SHALL CONFORM TO LOCAL CODES AND ORDINANCES.
- ALL TRENCHES UNDER PROPOSED PAVED AREAS OR CONCRETE SHALL BE BACKFILLED TO SUBGRADE ELEVATION WITH COMPACTED APPROVED GRANULAR MATERIALS. IF TRENCHES ARE IN PROPOSED LANDSCAPE AREAS, THEY SHALL BE BACKFILLED WITH COMPACTED APPROVED GRANULAR MATERIAL TO WITHIN ONE FOOT OF FINISHED GRADE, AND THEN FILLED WITH HAND TAMPED SOILS.

SECTION AND DETAIL CONVENTION



GENERAL NOTES

1. PLANS PREPARED AT THE REQUEST OF: TONY UCCELLI, OWNER
2. TOPOGRAPHY BY BGT LAND SURVEYING, SURVEYED 6-28-19.
3. THIS IS NOT A BOUNDARY SURVEY.
4. ELEVATION DATUM ASSUMED.
5. THE GEOTECHNICAL REPORT: **GEOTECHNICAL STUDY: UCCELLI PROPERTY, LOT 16, APN 047-122-010, SONORA AVENUE;** DATE: 3-31-22, BY SIGMA PRIME GEOSCIENCES, INC. PROJECT NO. 21-228 SHALL BE RETAINED ON THE CONSTRUCTION SITE. THE GEOTECHNICAL ENGINEER OF RECORD IS SIGMA PRIME GEOSCIENCES, INC. ASSOCIATES, WITH THE CONTACT NUMBER (650)-728-3590. THE CONTRACTOR MUST SHALL NOTIFY THE GEOTECHNICAL ENGINEER OF RECORD AT LEAST 48 HOURS BEFORE CONSTRUCTION OF GEOTECHNICAL RELATED WORK. THE GEOTECHNICAL PART OF CONSTRUCTION WORK, INCLUDING BUT NOT LIMITED TO, ALL THE EARTHWORK AND FOUNDATION CONSTRUCTIONS, MUST SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER OF RECORD.
6. STORMWATER MANAGEMENT CONSTRUCTION INSPECTIONS SHALL BE SCHEDULED FOR APPLICABLE DRAINAGE INSPECTIONS, WHICH INCLUDE SITE CLEARANCE AND EROSION CONTROL MEASURES INSTALLATION AS WELL AS INSPECTION OF MAJOR DRAINAGE CONTAINMENT, TREATMENT, AND CONVEYANCE DEVICES BEFORE BEING BURIED (INCLUDING REQUIRED MATERIAL LABELS, E.G. PIPES, SUG-GRADE MATERIALS, ETC.). PLEASE FOLLOW THE INSPECTION CARD INSTRUCTIONS CALL SIGMA PRIME AT 650-728-3590 TO SCHEDULE DRAINAGE INSPECTIONS ACCORDINGLY. THERE SHALL BE THREE INSPECTIONS: ONE FOR EROSION CONTROL INSTALLATION, ONE BEFORE DRAINAGE FACILITIES ARE BURIED, AND ONE FOR FINAL WALK AROUND.

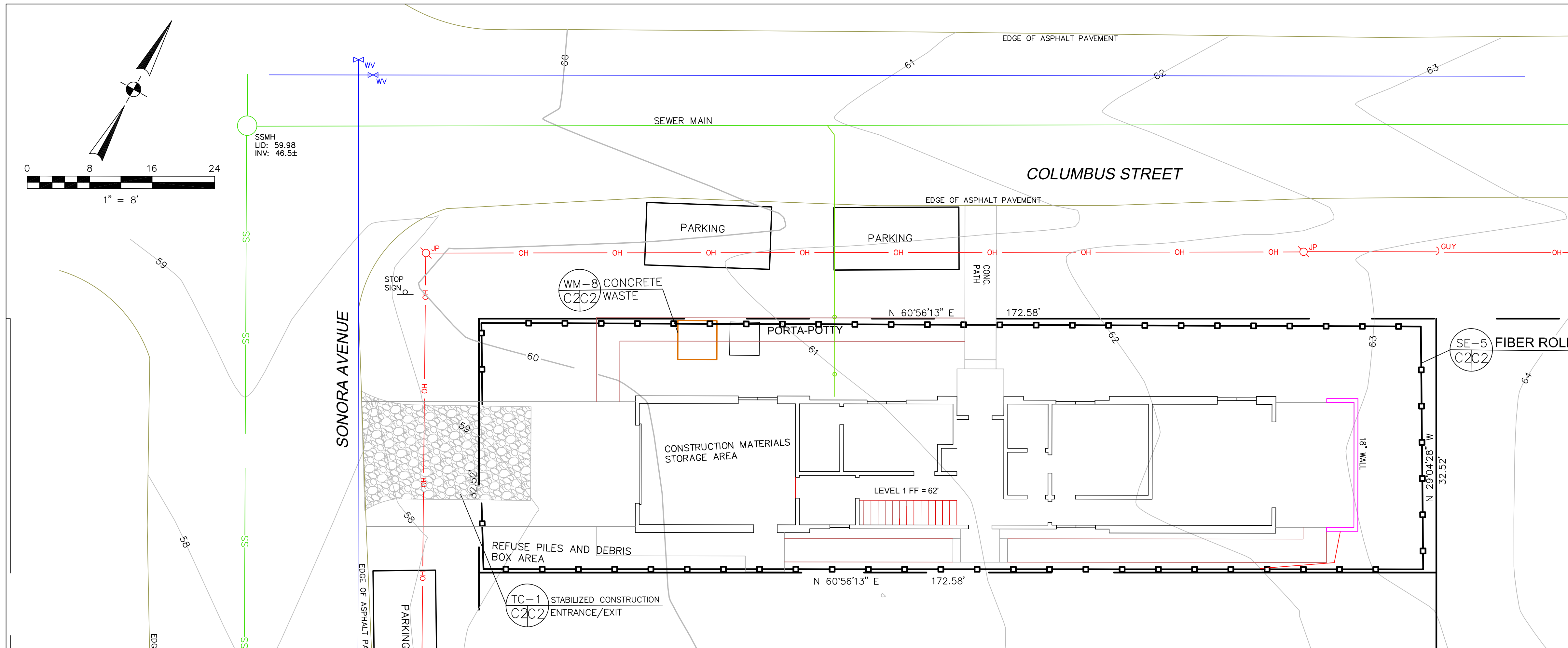


GRADING AND DRAINAGE PLAN

UCCELLI PROPERTY, LOT 16
COLUMBUS STREET
EL GRANADE
APN 047-122-010

SHEET C-1

DATE: 2-13-23	DRAWN BY: CMK	CHECKED BY: AZG	REV. DATE: 6-12-24	REV. DATE:	REV. DATE:
Sigma Prime Geosciences, Inc. SIGMA PRIME GEOSCIENCES, INC. 332 PRINCETON AVENUE HALF MOON BAY, CA 94019 (650) 728-3590 FAX 728-3593					



GENERAL EROSION AND SEDIMENT CONTROL NOTES

- FIBER ROLL INSTALL AT LOCATIONS SHOWN. AFFIX AS SHOWN IN DETAIL SE-5
- There will be no stockpiling of soil. All excavated soil will be hauled off-site as it is excavated.
- Perform clearing and earth-moving activities only during dry weather. Measures to ensure adequate erosion and sediment control shall be installed prior to earth-moving activities and construction.
- Erosion control materials to be on-site during off-season.
- Measures to ensure adequate erosion and sediment control are required year-round. Stabilize all denuded areas and maintain erosion control measures continuously between October 1 and April 30.
- Store, handle, and dispose of construction materials and wastes properly, so as to prevent their contact with stormwater.
- Control and prevent the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges to storm drains and watercourses.
- Avoid cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
- Limit and time applications of pesticides and fertilizers to prevent polluted runoff.
- Limit construction access routes to stabilized, designated access points
- Avoid tracking dirt or other materials off-site; clean off-site paved areas and sidewalks using dry sweeping methods.
- Train and provide instruction to all employees and subcontractors regarding the Watershed Protection Maintenance Standards and construction Best Management Practices.
- Placement of erosion materials is required on weekends and during rain events.
- The areas delineated on the plans for parking, grubbing, storage etc., shall not be enlarged or "run over."
- Dust control is required year-round.
- Erosion control materials shall be stored on-site.
- There are no trees or driplines on the site.
- Provide secondary containment for porta-potty.

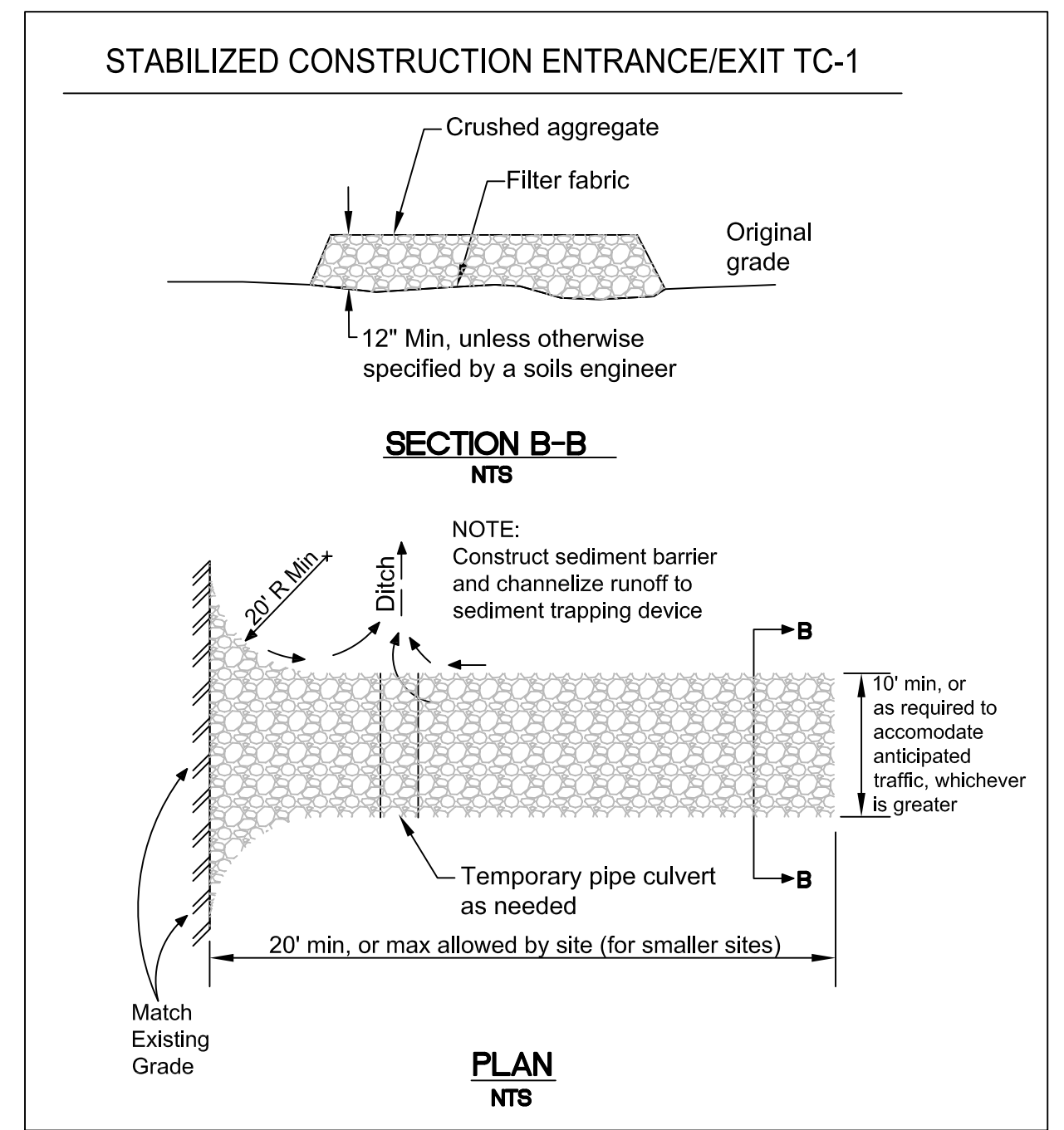
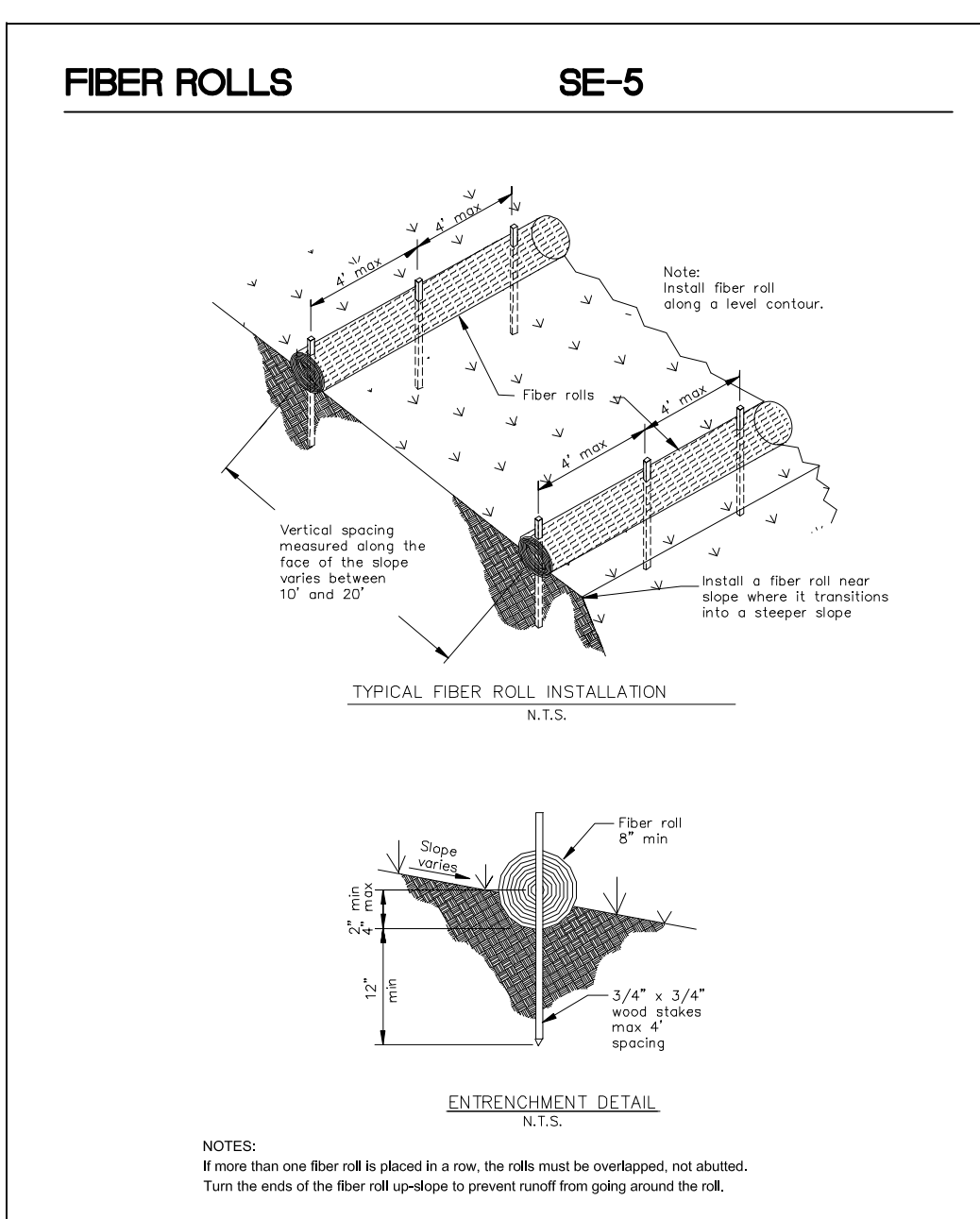
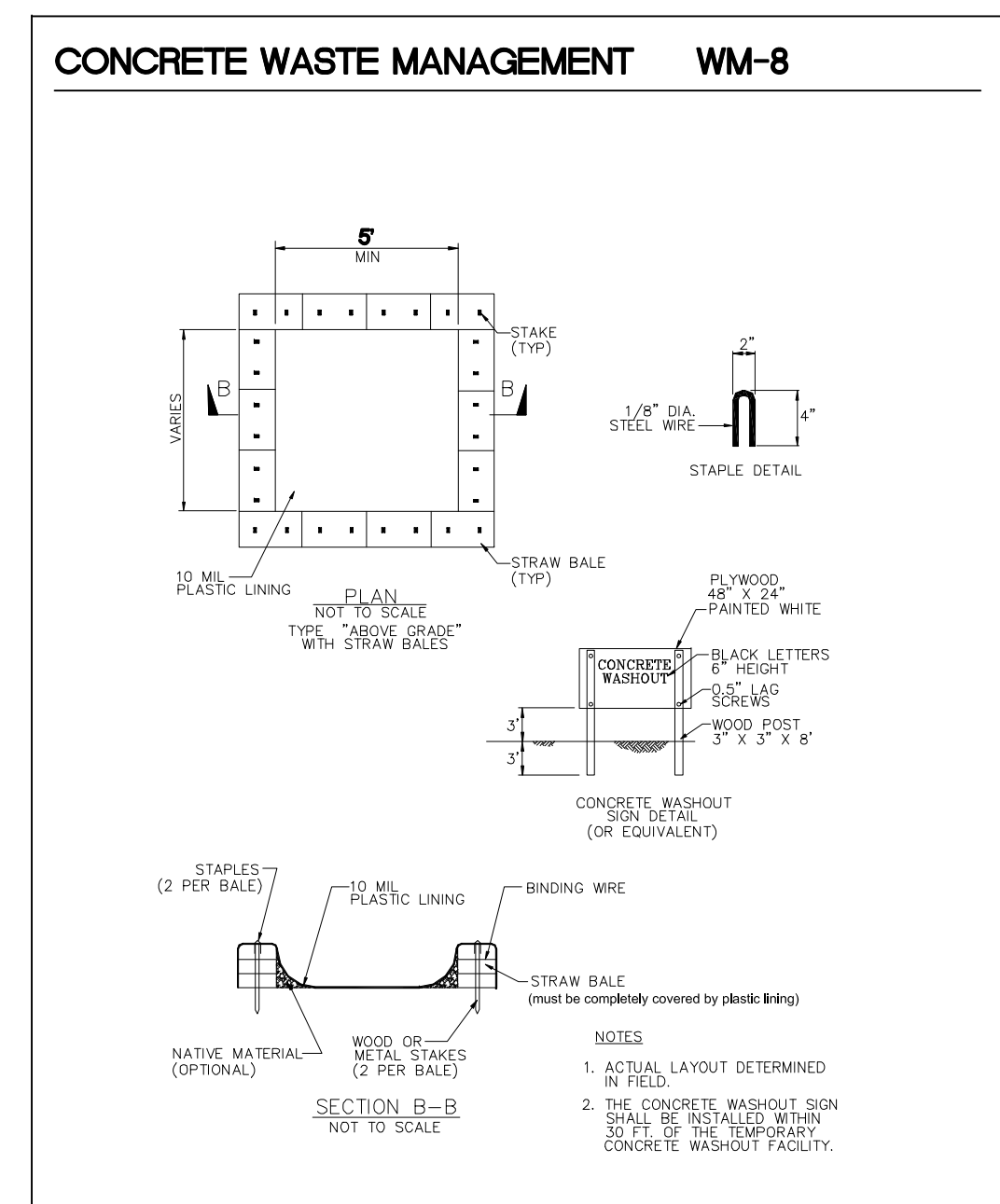


EROSION CONTROL POINT OF CONTACT

THIS PERSON WILL BE RESPONSIBLE FOR EROSION CONTROL AT THE SITE AND WILL BE THE COUNTY'S MAIN POINT OF CONTACT IF CORRECTIONS ARE REQUIRED.

NAME: TONY UCCELLI
 TITLE/QUALIFICATION: OWNER
 PHONE: 650-467-8291
 PHONE:
 E-MAIL: TUCCELLI@PRODIGY.NET

Sigma Prime Geosciences, Inc.
 SIGMA PRIME GEOSCIENCES, INC.
 332 PRINCETON AVENUE
 HALF MOON BAY, CA 94019
 (650) 726-3590
 FAX 726-3593



DATE: 2-13-23
 DRAWN BY: CMK
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EROSION AND SEDIMENT CONTROL PLAN

UCCELLI PROPERTY, LOT 16
 COLUMBUS STREET
 EL GRANADE
 APN 047-122-010

SHEET C-2



SAN MATEO COUNTYWIDE

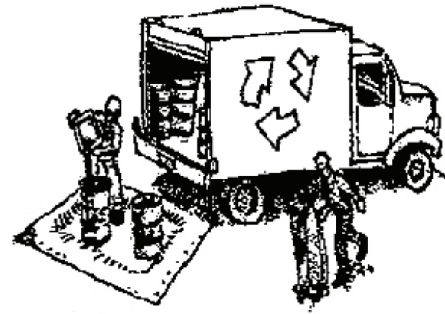
Water Pollution Prevention Program

Clean Water. Healthy Community.

Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

Materials & Waste Management



Non-Hazardous Materials

- ❑ Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- ❑ Use (but don't overuse) reclaimed water for dust control.

Hazardous Materials

- ❑ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- ❑ Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- ❑ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ❑ Arrange for appropriate disposal of all hazardous wastes.

Waste Management

- ❑ Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- ❑ Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- ❑ Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- ❑ Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- ❑ Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

Construction Entrances and Perimeter

- ❑ Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- ❑ Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

Equipment Management & Spill Control



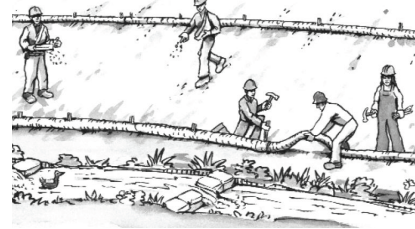
Maintenance and Parking

- ❑ Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- ❑ Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- ❑ If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- ❑ If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- ❑ Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.

Spill Prevention and Control

- ❑ Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- ❑ Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- ❑ Clean up spills or leaks immediately and dispose of cleanup materials properly.
- ❑ Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- ❑ Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- ❑ Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- ❑ Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

Earthmoving



- ❑ Schedule grading and excavation work during dry weather.
- ❑ Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- ❑ Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- ❑ Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel bags, berms, etc.
- ❑ Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

Contaminated Soils

- ❑ If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
 - Unusual soil conditions, discoloration, or odor.
 - Abandoned underground tanks.
 - Abandoned wells
 - Buried barrels, debris, or trash.

Paving/Asphalt Work



- ❑ Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- ❑ Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- ❑ Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- ❑ Do not use water to wash down fresh asphalt concrete pavement.

Sawcutting & Asphalt/Concrete Removal

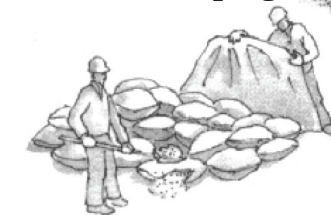
- ❑ Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- ❑ Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- ❑ If sawcut slurry enters a catch basin, clean it up immediately.

Concrete, Grout & Mortar Application



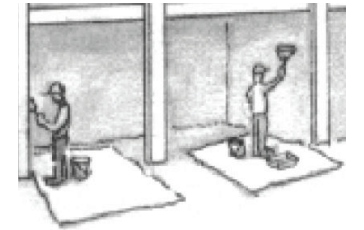
- ❑ Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- ❑ Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- ❑ When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

Landscaping



- ❑ Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- ❑ Stack bagged material on pallets and under cover.
- ❑ Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

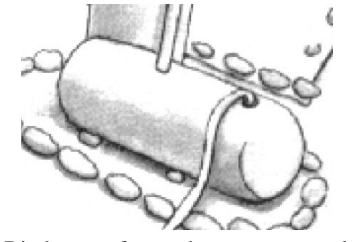
Painting & Paint Removal



Painting Cleanup and Removal

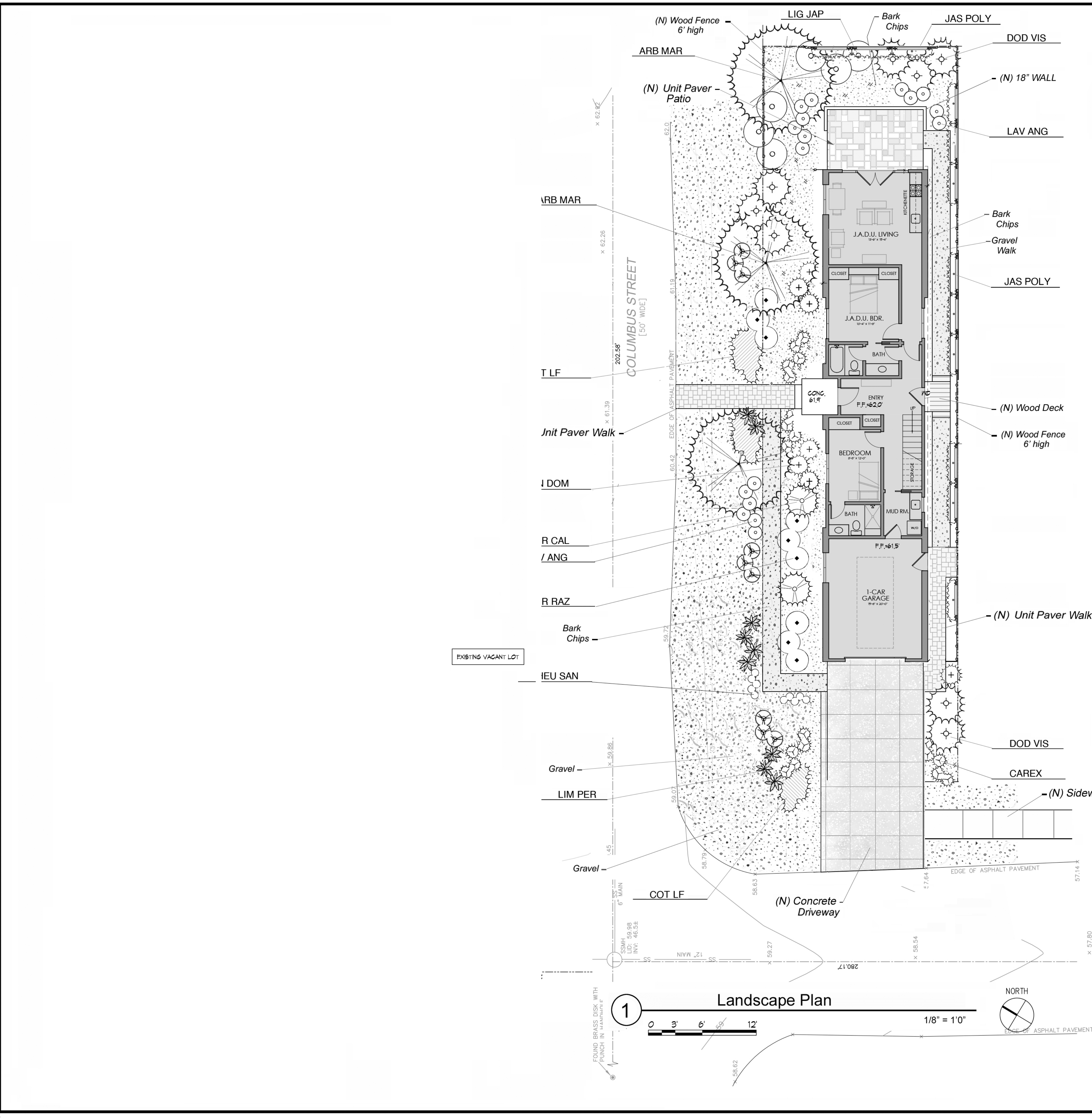
- ❑ Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- ❑ For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- ❑ For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- ❑ Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- ❑ Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

Dewatering



- ❑ Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- ❑ Divert run-on water from offsite away from all disturbed areas.
- ❑ When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ❑ In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

Storm drain polluters may be liable for fines of up to \$10,000 per day!



Plant List

No.	Botanical Name	Common Name	Qty*	Size	WU	Plant Type
ARB MAR	Arbutus 'Marina'	Strawberry Tree	3	24" Box	L	Evgn Tree
CAREX	Carex tumulicola	Foothill Sedge	10	1 Gal	L	Sedge
DIE BIC	Dietes bicolor	Fortnight Lily	6	5 Gal	L	Low Shrub
DOD VIS	Dodonaea viscosa	Hopseed Bush	8	5 Gal	L	Evgn Shrub
HEU SAN	Heuchera sanguinea	Coral Bells	10	1 Gal	L	Perennial
LAV ANG	Lavendula angustifolia	English Lavender	18	1 Gal	L	Low Shrub
LIG JAP	Ligustrum jap 'Texanum'	Waxleaf Privet	6	5 Gal	L	Evgn Shrub
LIM PER	Limonium perezii	Sea Thrift	10	1 Gal	L	Perennial
LOR RAZ	Loropetalum 'Razzleberry'	N C N	9	5 Gal	L	Evgn Shrub
MYR CAL	Myrica californica	Pacific Wax Myrtle	5	Gal	L	Evgn Shrub
NAN DOM	Nandina domestica	Heavenly Bamboo	7	5 Gal	L	Evgn Shrub
JAS POLY	Jasminum polyanthum	Pink Flowering	12	15 Gal	M	Evgn Vine
COT LF	Cotoneaster 'Lowfast'	N C N	15	1 Gal	L	Groundcover

Note: Contractor to verify quantities.

Planting Notes

- CONTRACTOR SHALL CONTACT UNDERGROUND SERVICES ADMINISTRATION PRIOR TO EXCAVATION AND GRADING.
- ALL PLANTING AREAS SHALL BE CLEARED OF WEEDS AND OTHER DEBRIS. THE CONTRACTOR SHALL VERIFY WITH THE OWNER WHICH EXISTING PLANTS ARE TO REMAIN. EXISTING PLANTS TO BE REMOVED SHALL BE VERIFIED WITH OWNER PRIOR TO REMOVAL. ALL IVY IN PROJECT AREA SHALL BE REMOVED; IVY SHALL BE SPRAYED WITH HERBICIDE TWO WEEKS PRIOR TO REMOVAL.
- SOIL TESTING SHALL BE UNDERTAKEN BY THE CONTRACTOR, AND PERFORMED BY A CERTIFIED LABORATORY. A COPY OF THE REPORT SHALL BE PROVIDED TO THE OWNER AND LANDSCAPE ARCHITECT. RECOMMENDATIONS FOR AMENDMENTS AND FERTILIZATION SHALL REFLECT THE NUTRIENT REQUIREMENTS OF SPECIFIED PLANT SPECIES.
- SOIL AMENDMENTS SHALL BE FREE OF DEBRIS SUCH AS LITTER, BROKEN CLAY POTS, AND OTHER FOREIGN MATERIAL. ROCKS LARGER THAN ONE INCH DIAMETER WILL NOT BE PERMITTED. SOIL AMENDMENTS SHALL HAVE THE FOLLOWING CONTENT: REDWOOD NITRIFIED COMPOST 40%, COARSE SAND 30%, BLACK TOPSOIL 30%.
- PLANT HOLES SHALL BE DOUBLE THE SIZE OF THE CONTAINER (generally). THE WALLS AND BASES OF PLANT HOLES SHALL BE SCARIFIED. HOLES SHALL BE BACKFILLED WITH THE FOLLOWING MIXTURE: 80% TO 20% IMPORTED SOIL TO EXISTING SOIL.
- SOIL BERMS SHALL BE FORMED AROUND ALL PLANTS 1 GALLON SIZE AND LARGER. BASINS SHALL BE MULCHED WITH A 3" LAYER OF BARK CHIPS, MINIMUM OF 1" IN SIZE. PLANTING AREAS SHALL BE COVERED WITH A TWO INCH LAYER OF BARK CHIPS.
- ALL PLANTS SHALL BE FERTILIZED. FERTILIZER SHALL BE COMMERCIALY AVAILABLE TYPE, AGRIFORM OR EQUIVALENT. APPLICATION SHALL BE ACCORDING TO MANUFACTURER'S INSTRUCTIONS. RESIDUAL WEED PRE-EMERGENT SHALL BE APPLIED BY THE CONTRACTOR. APPLICATION SHALL BE ACCORDING TO MANUFACTURER'S INSTRUCTIONS.
- TREES SHALL BE STAKED WITH TWO PRESSURE TREATED 2" DIAMETER POLES. TREE TRUNK SHALL BE SECURED WITH TWO RUBBER TIES OR STRAPS FORMING A FIGURE-EIGHT BETWEEN

PREPARED BY: BRUCE A. CHAN CA RLA #2324
 923 ARGUELLO STREET, SUITE 200
 REDWOOD CITY CA 94063
 650-346-7645 650-367-8139 (FAX)
 bacla@sbcglobal.net

"I have complied with the criteria of the ordinance and applied them accordingly for efficient use of water in the irrigation design plan."

Signed *Bruce A. Chan*

Total Irrigated Landscape Area 1313 SF

Bruce A. Chan
 Landscape Architect
 CA Lic. # 002324

923 Arguello Street, Suite 200
 Redwood City, California 94063

Tel (650) 346-7645
 Fax (650) 367-8139
 Email: bacla@sbcglobal.net

Landscape Architecture
 Environmental Design
 Site Planning



New Single Family House
 APN: 047-122-010
 T.B.D. Sonora Ave. - Lot 16
 El Granada, CA 94018

TITLE
Landscape Plan

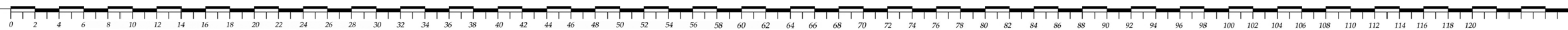
REVISIONS

Date	Notes
7-11-23	Remove tree at corner
6-13-24	Adjust Building footprint, add vines to rear

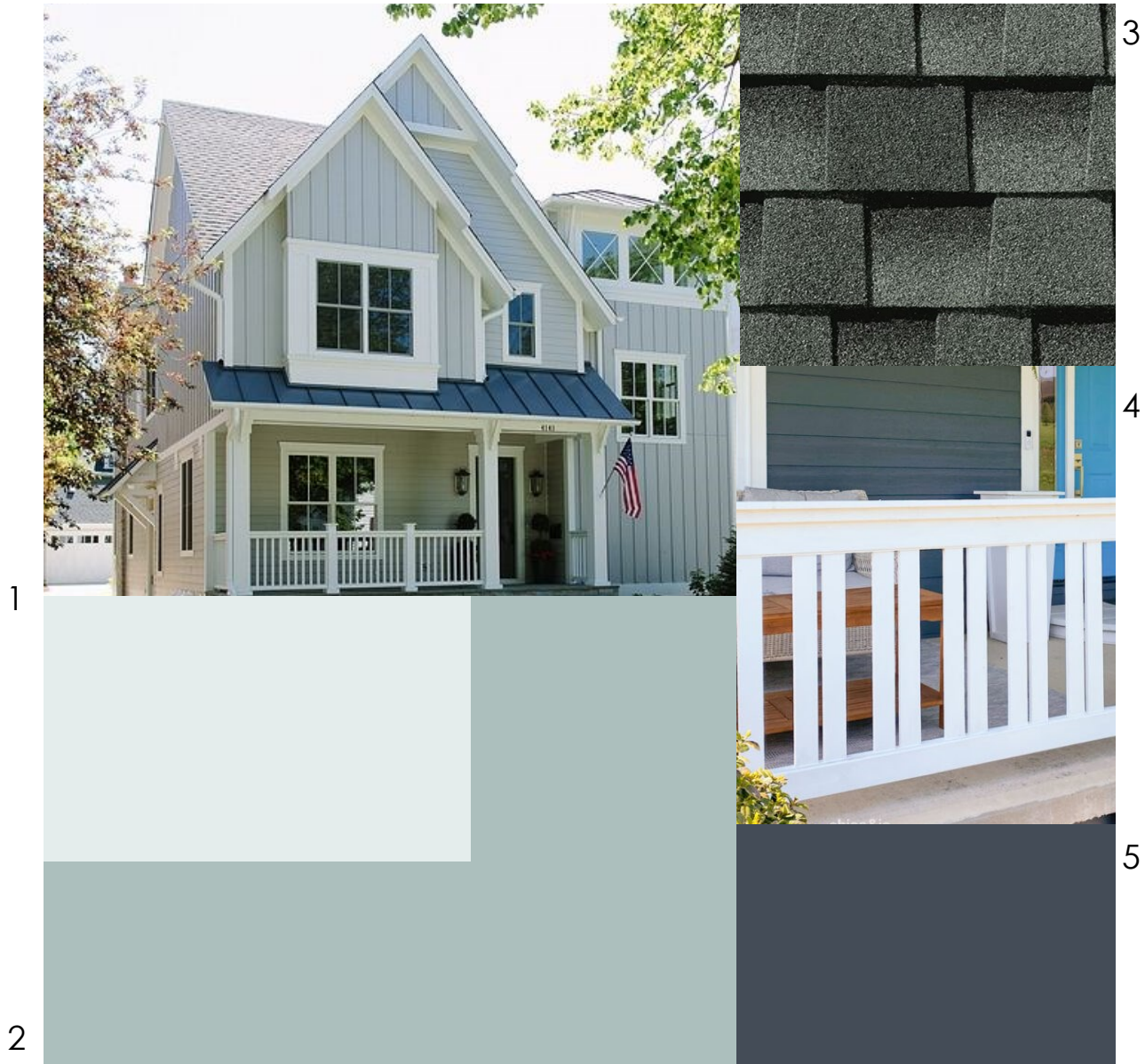
PROJECT #:

DATE: 02-15-23

SHEET #:
L 1.1



EXTERIOR COLORS & MATERIALS



1. Doors & Windows : Milgard Trinsic vinyl, 'White' color, Wood Trim & Accent siding: painted, Benjamin Moore 'Patriotic White' #2135-70
2. Board on Board siding, painted, Benjamin Moore 'Wedgewood Gray' #HC-146
3. Roof : Composition Shingle, GAF Timberline, 'Slate'
4. Wood Railing : painted, Benjamin Moore 'Patriotic White' #2135-70
5. Front Door accent : painted, Benjamin Moore 'Hale Navy' #HC-154

Sonora Ave. - Lot 16

APN : 047-122-010

El Granada, California

KELLOND ARCHITECTS

Detention Basin Sizing - House

Job: Uccelli - Lot 16
 No.: 21-228
 Date 6/12/2024
 by: CMK

Rational Method to Estimate Storm Runoff

$$Q_p = CIA_d$$

Area, A_d (sf): 2000
 Area, A_d (acres): 0.04591
 C: 0.9

Duration=1 hour
 I (rainfall intensity): from NOAA Atlas 14 Dataset

I_{60} = 0.879 in/hr

Q= 0.024 CFS



Detention Size (for 1-hour duration):

10-yr Storm: 87 CF
 FS = 1.2: 105 CF

Areas:	Pipe Diam-ft	Trench Width -ft	Trench Depth -ft	Trench Area-sf	Pipe Area -sf	Gravel Area-sf	w/Void Ratio 35%	Total Area-sf
	1	2	2	4	0.79	3.21	1.13	1.91
	1.5	2.5	2.5	6.25	1.77	4.48	1.57	3.34
	2	3	3	9	3.14	5.86	2.05	5.19
	3	4	4	16	7.07	8.93	3.13	10.19

Size Pipes for 10-year event:

1' diam. Pipe: 54.8 LF Required
 1.5' diam. Pips: 31.4 LF Required
 2' diam. Pipe: 20.1 LF Required
 3' diam. Pipe: 10.3 LF Required

5-day percolation check:

Pipe Diameter: 3 feet
 Estimated percolation rate: 0.2 in/hr
 Estimated percolation rate: 0.0167 ft/hr
0.40 ft/day
5 days
2.00 ft/sf (perc rate)
44 sf (needed sf)
 Trench Length: 11.3 feet
 Trench Width: 3.86 feet
 Width of Gravel: 5.1 inches
 Use 6"