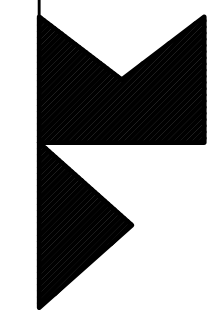




# RUSSELL GRONSKY RESIDENCE

REVISION	BY
Planning	
XXXXX	VMK
Bulding	
	VMK

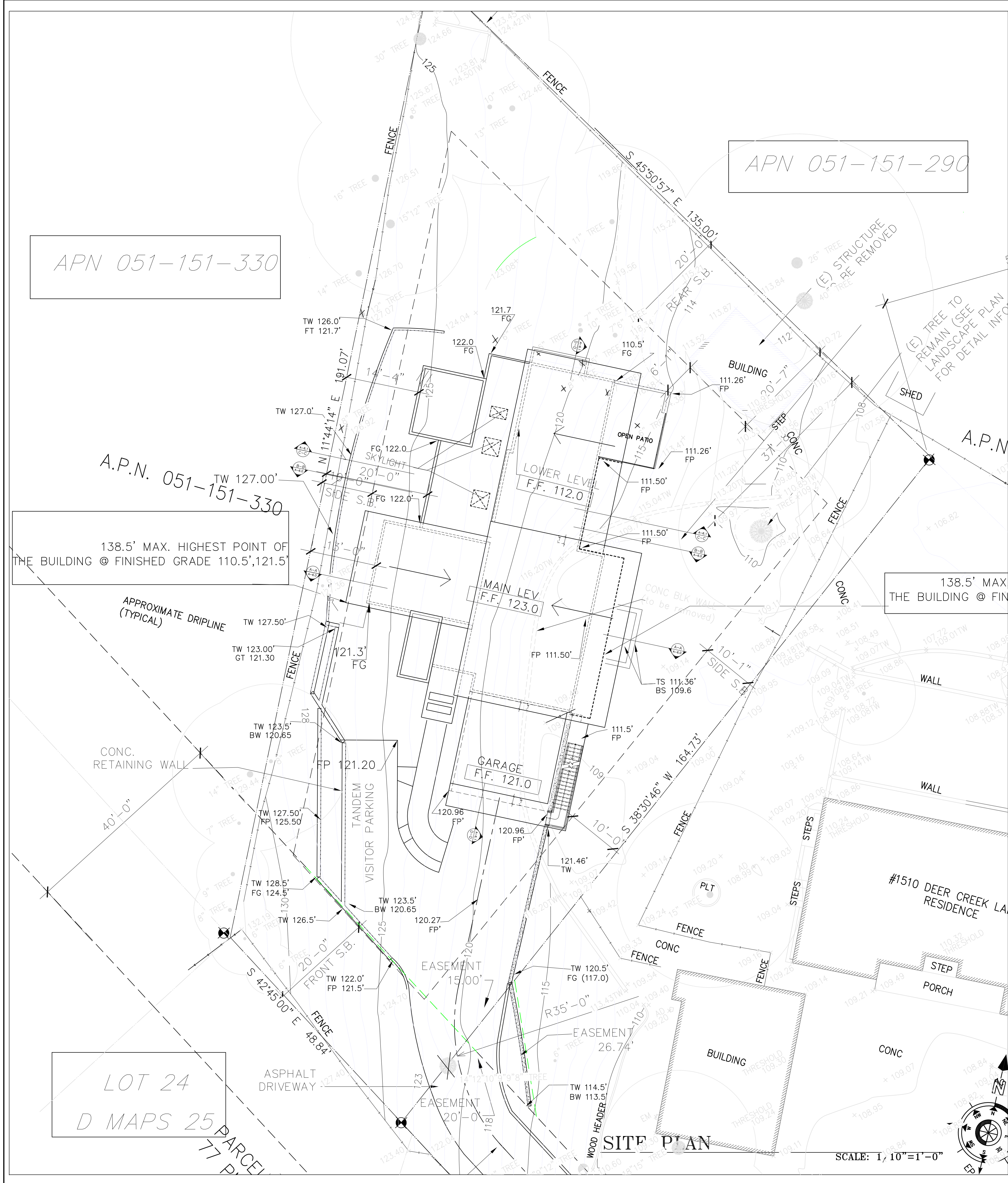

**VMK DESIGN GROUP** VADIM MELIK-KARAMOV  
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*Buller*

**RUSSELL GRONSKY RESIDENCE**  
**1508 DEER CREEK LANE.**  
**REDWOOD CITY, CA 94062**

DATE	10/31/23
SCALE	1/4"=1'-0"
DRAWN	VMK
JOB	RUSS
SHEET	A-0.0
OF SHEETS	





### GENERAL NOTES

STANDARDS WHICH GOVERN EACH PHASE OF WORK, INCLUDING, BUT NOT LIMITED TO:  
 CALIFORNIA 2001 (CBC)  
 CALIFORNIA MECHANICAL CODE 2001 EDITION (2000 UMC),  
 CALIFORNIA PLUMBING CODE 2001 (2000 NPC)  
 CALIFORNIA ELECTRICAL CODE 2004 EDITION (2002 NEC),  
 2005 CALIFORNIA BUILDING ENERGY EFFICIENCY STANDARDS  
 COUNTY OF SAN MATEO MUNICIPAL CODE

AND ALL APPLICABLE LOCAL AND STATE LAWS AND REGULATIONS. THE GENERAL CONTRACTOR SHALL CAREFULLY INSPECT ALL EXCAVATION WORK FOR COMPLIANCE TO REQUIREMENTS OF THE PREVAILING BUILDING CODE. SHOULD ANY CONDITIONS APPEAR QUESTIONABLE, SUCH AS: EXCESSIVE DAMPNENESS, GRANULAR COMPOSITION, SLOUGHING, SOFTNESS OR OTHER DEFECTS, THE GENERAL CONTRACTOR SHALL CONTACT THE "VMK DESIGN GROUP".

ALL INFORMATION PERTAINING TO THE SITE SHALL BE THE OWNER'S RESPONSIBILITY. THIS INFORMATION SHALL INCLUDE: LEGAL DESCRIPTION, DEED RESTRICTIONS, EASEMENTS, SITE SURVEY, TOPOGRAPHIC SURVEY, POSITION OF EXISTING IMPROVEMENTS, SOILS REPORT, AND ALL RELATED DATA. THESE DOCUMENTS HAVE BEEN PREPARED ON THE INFORMATION PROVIDED TO THE "VMK DESIGN GROUP".

IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS TO CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS INDICATED ON THESE DRAWINGS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO COMMENCING THEIR WORK.

NO GUARANTEE FOR QUALITY OF CONSTRUCTION IS IMPLIED BY THE ARCHITECTURAL DOCUMENTS, AND THE GENERAL CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY OR ALL CONSTRUCTION DEFICIENCIES.

THE OWNER & CONTRACTOR AGREES TO INDEMNIFY, DEFEND, & HOLD THE (VMK DESIGN GROUP), HARMLESS FROM AND AGAINST ANY AND ALL CLAIMS, LIABILITIES, SUITS, DEMANDS, LOSSES, COSTS, AND EXPENSES, INCLUDING REASONABLE ATTORNEY'S FEES AND ALL LEGAL EXPENSES AND FEES INCURRED ON APPEAL, AND ALL INTEREST THEREON, ACCRUING OR RESULTING TO ANY AND ALL PERSONS, FIRMS, OR ANY OTHER LEGAL ENTITY ON ACCOUNT OF ANY DAMAGE TO PROPERTY OR PERSONS, INCLUDING DEATH, ARISING OUT OF THE PERFORMANCE OR NON-PERFORMANCE OF OBLIGATIONS UNDER THIS AGREEMENT, EXCEPT WHERE THE ARCHITECT IS FOUND TO BE SOLELY LIABLE FOR SUCH DAMAGES OR LOSSES BY A COURT OR FORUM OF COMPETENT JURISDICTION.

THE GENERAL CONTRACTOR SHALL VERIFY SIZE, LOCATION, AND CHARACTERISTICS OF ALL WORK AND EQUIPMENT SUPPLIED BY THE OWNER OR OTHERS, WITH THE MANUFACTURER OR SUPPLIER, PRIOR TO THE START OF RELATED WORK.

DO NOT ACCUMULATE TRASH OR DEBRIS ON SITE. PROMPTLY REMOVE MATERIAL FROM SITE PER LOCAL ORDINANCE.

THESE DRAWINGS ARE, AND SHALL REMAIN, THE PROPERTY OF THE "VMK DESIGN GROUP". ANY USE OR REPRODUCTION IN WHOLE OR PART BY ANYONE WITHOUT PERMISSION OF THE ARCHITECT, SHALL BE STRICTLY FORBIDDEN.

ALL DIMENSIONS GIVEN ARE TO FACE OF STUD UNLESS OTHERWISE NOTED.

ALL DIMENSIONS TAKE PRECEDENCE OVER SCALE.

IT IS IMPORTANT THAT ALL DELIVERY TIME BE CHECKED AND HOLDS PLACED ON MATERIALS AS REQUIRED TO MEET CONSTRUCTION SCHEDULE.

THESE DRAWINGS ARE INTENDED FOR USE IN A NEGOTIATED CONSTRUCTION CONTRACT AND THEREFORE, MAY NOT SPECIFICALLY DETAIL OR SPECIFY MATERIALS AND/OR MANUFACTURERS. THE CONTRACTOR SHALL PROVIDE ALL SAMPLES AND/OR CUTS AS REQUIRED TO ASSIST OWNER OR HIS AGENT IN MAKING MATERIAL SELECTIONS.

CONTRACTOR TO SEAL ALL PENETRATIONS (E.G. FROM PIPES, DRILLED HOLES, ETC.), BETWEEN FLOORS AND WALLS. SCRIBE ALL FINISH MILLWORK TO WALLS, PARTITIONS, AND CEILING. PROVIDE SCRIBE MOULDING AS REQUIRED TO FINISH ALL MILLWORK TO WALLS, PARTITIONS, AND CEILING.

SEAL ALL CONTROL JOINTS WHERE EXPOSED TO VIEW. SEALANT COLOR SHALL MATCH THE COLOR OF THE FINISH MATERIAL. PROVIDE WOOD BLOCKING IN ALL STUD WALLS AT MILLWORK AND SPECIAL ITEM ANCHORING POINTS.

IT IS THE INTENT OF THE DRAWINGS THAT ALL EXPOSED SURFACES RECEIVE FINISHES AS INDICATED ON THE DRAWINGS UNLESS SPECIFICALLY NOTED OTHERWISE. THE GENERAL CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR THE COORDINATION OF THE COMPLETE FINISH-OUT OF THE PROJECT. ANY SURFACES WHICH DO NOT HAVE A SPECIFIC FINISH NOTED, NOR ARE NOTED TO REMAIN UNFINISHED, SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND FINISHED PER THE GYPSUM BOARD WALLS AND CEILING SHALL HAVE A SMOOTH FINISH.

PROVIDE USG DUROCK CEMENT BOARD AT ALL AREAS SUBJECT TO THE TEMPORARY (N.F.R.C.) LABEL WHICH STATES THE LISTED U-V-VALUE FOR ALL PENETRATION PRODUCTS SHALL NOT BE REMOVED PRIOR TO OCCUPANCY.

CONTRACTORS TO MEET ALL CONDITIONS OF BUILDING AND FIRE DEPARTMENT PRIOR TO OCCUPANCY.

ALL GRADED SURFACES AND MATERIALS, WHETHER FILED, EXCAVATED, TRANSPORTED OR STOCKPILED, SHALL BE WEETED, PROTECTED OR CONTENTED IN SUCH A MANNER AS TO PREVENT ANY NUISANCE FROM DUST, OR SPILLAGE UPON ADJOINING PROPERTY OR STREETS. EQUIPMENT AND MATERIALS ON THE SITE SHOULD BE USED IN SUCH A MANNER AS TO AVOID EXCESSIVE DUST AND NOISE. ROADWAYS ON THE SITE SHALL BE UTILIZED TO PREVENT EXCESSIVE DUST. DIESEL OIL SHALL NOT BE UTILIZED TO LUBRICATE EQUIPMENT OR PARTS ON SITE.

THE APPLICANT SHALL COMPLY WITH ALL CONDITIONS SPECIFIED IN ORDINANCE #1056, TO SATISFACTION OF FIRE CHIEF, PUBLIC WORKS DIRECTOR, CHIEF BUILDING OFFICIAL AND POLICE CHIEF, AS APPLICABLE.

ALL CONDITIONS OF APPROVAL SHALL BE POSTED AT THE JOB SITE IN FULL PUBLIC VIEW. CONDITIONS SHALL BE PLACED IN A WEATHERPROOF COVER, AND SHOULD INCLUDE THE TELEPHONE NUMBER OF THE DEVELOPER.

ROMIG ENGINEERS SHALL INSPECT ALL EXCAVATIONS AND GRADING PRIOR TO THE PLACEMENT OF CONCRETE AND / OR BACKFILL AND SUBMIT AN "AS-BUILT" LETTER OR REPORT TO THE COUNTY OF SAN MATEO. IT IS RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE PROJECT GEOTECHNICAL CONSULTANT TO THE REQUIRED INSPECTIONS.

### SITE NOTES

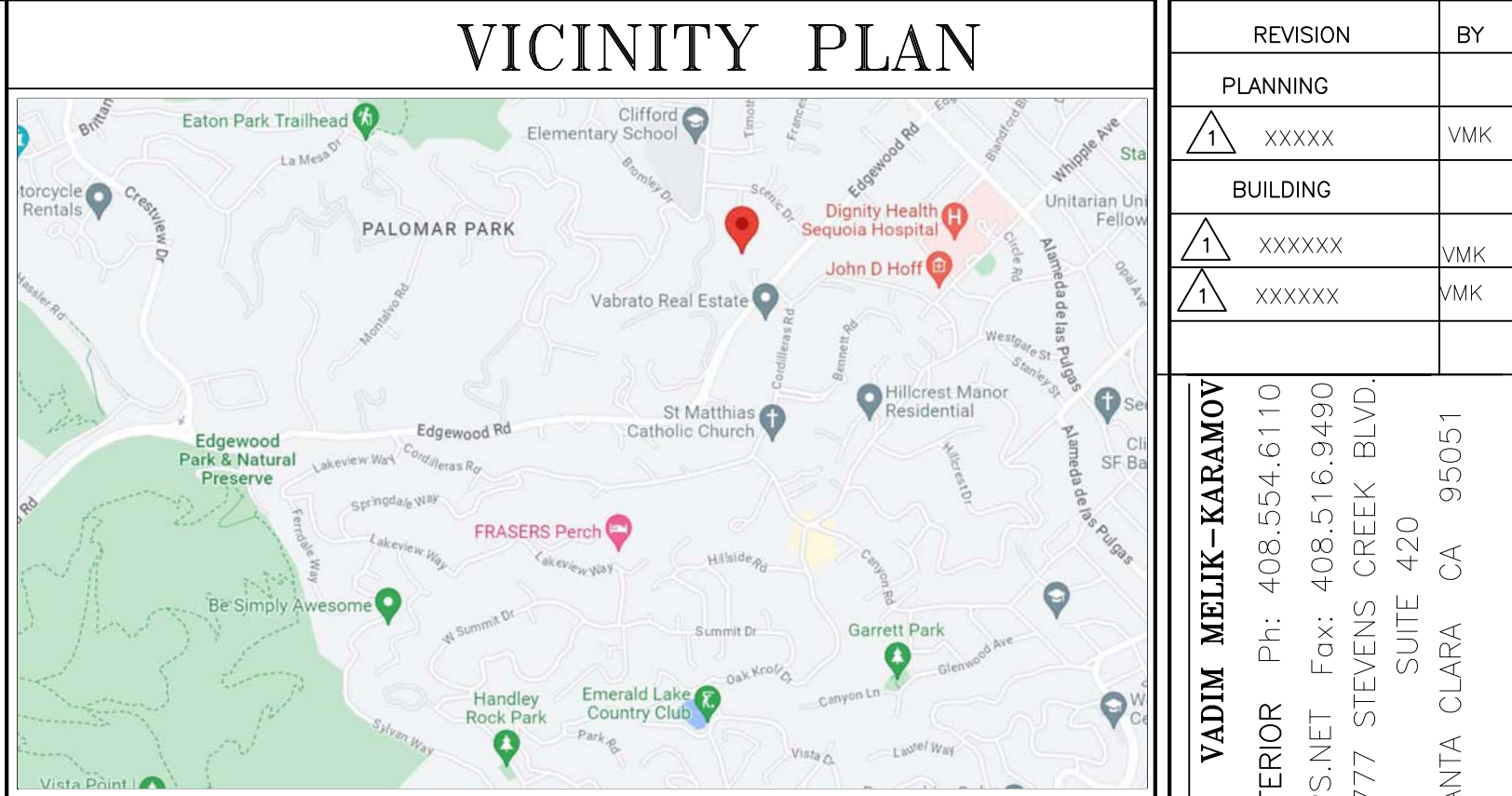
PROVIDE ADEQUATE MEANS FOR COLLECTING AND DIRECTING SUB-SURFACE WATERS TO THE STREET GUTTER, STORM DRAIN, OR OTHER APPROVED DRAIN SYSTEM.

THE SERVICE COMPANIES PROVIDING NATURAL GAS, ELECTRICITY, WATER, CABLE, AND TELEPHONE SERVICE SHALL BE CONSULTED ON THE LOCATION AND THE SCHEDULING OF THIS WORK. THE SERVICE ENTRANCE AND THE METER LOCATION SHALL BE APPROVED BY THE ARCHITECT PRIOR TO THEIR INSTALLATION.

ALL WORK IN THE PUBLIC RIGHT-OF-WAY SHALL CONFORM TO THE STANDARDS OF THE CITY. SEE LANDSCAPE PLAN FOR PLANTING & IRRIGATION REQUIREMENTS. SEE SOIL REPORT FOR ADDITIONAL REQ. "ROMIG ENGINEERS"

SITE INFORMATION WAS BASED ON SURVEY BY TRIED HOME ASSOC. NEW CONNECTION TO SAN CARLOS CITY SEWER SYSTEM "EXTRA TERRITORIAL JURISDICTIONS"

NO FENCE SHALL BE CONSTRUCTED ALONG THE BELLE ROCHE AVE. SIDE OF THE HOME WITHOUT EDCO APPROVAL.  
 SEE LANDSCAPE PLAN FOR NEW TREE LOCATION



### PROJECT TEAM

**ARCHITECT © STRUCTURE**  
**VMK DESIGN GROUP** Vadim Melik-Karamov  
 3777 STEVENS CREEK BLVD. #420 SANTA CLARA CA 95051  
 PH. (408) 554-6110

**CIVIL ENGINEER – LAND SURVEYING**  
**MacLEOD AND ASSOCIATES**  
 965 CENTER STREET SAN CARLOS, CA  
 PHONE (650) 593-8580

**SOILS REPORT**  
**ROMIG ENGINEERS**  
 1390 EL CAMINO REAL CA. 94070  
 PHONE (650) 591-5224

**ARBORIST**  
**MAYNE TREE EXPERT COMPANY**  
 535 BRAGATO RD. SITE A. SAN CARLOS CA.94070  
 PHONE (650) 594-4400

### PLANNING DATA

A.P.N. : 051-151-260  
 LOT AREA: 15,000 SF  
 (E) ZONING CLASSIFICATION: R-1/3-91/DR  
 PROPERTY ONER: RUSSEL GRONSKY  
 PROPOSED USE: SINGLE FAMILY  
 OCCUPANCY GROUP: R-3  
 TYPE OF CONSTRUCTION: V-N (N/SPRINKLERED)

SETBACKS:	
FRONT-	20'-0"
REAR-	20'-0"
SIDE-	10'-0"
SIDE-	10'-0"
BUILDING HEIGHT:	
ALLOWABLE-	28'-0"
PROPOSED	
PARKING REQUIRED	2 CARS
PARKING PROPOSED	4 CARS

COVERAGE :	
ALLOWABLE-	4,500 SQ.FT (30%)
PROPOSED	2,970 SQ.FT
BUILDING F.A. :	
ALLOWABLE HOUSE-	4,100 SQ.FT
GARAGE	400 SQ.FT
MAIN LEVEL	2,282.0 SQ.FT
LOWER LEVEL	1,817.0 SQ.FT
GARAGE	400 SQ.FT
PROPOSED HOUSE	4,099.0 SQ.FT

### ARCHITECTURAL DRAWING INDEX

- A-0.0 Rendering of proposed residence
- A-0.1 Site Plan, Compliance Data
- A-1.0 Lower Level Floor Plan
- A-2.0 Main Level Floor Plan
- A-3.0 Proposed Roof Plan
- A-4.0 Proposed Elevations
- A-5.1 Proposed Elevations
- A-5.2 3D Model and Bird View Site
- A-5.3 Specifications
- A-6.0 "A-A"; "B-B" Section
- A-6.1 "C-C"; "D-D" Section
- SURVEY
- S-1.0 Boundary Topographic Survey Plan
- ARBORIST
- AR-1.0 Tree Location Plan
- CIVIL
- C-1 Boundary Topographic Survey Plan
- C-2 Preliminary Grading Drainage and Utility Plan
- C-3 Preliminary Grading Drainage and Utility Plan
- C-4 Erosion & Sedimentation Controls Plan
- C-5 Construction BMP Plan

### DESCRIPTION OF THE WORK

NEW FOUR BEDROOMS SINGLE FAMILY RESIDENCE

REVISION BY

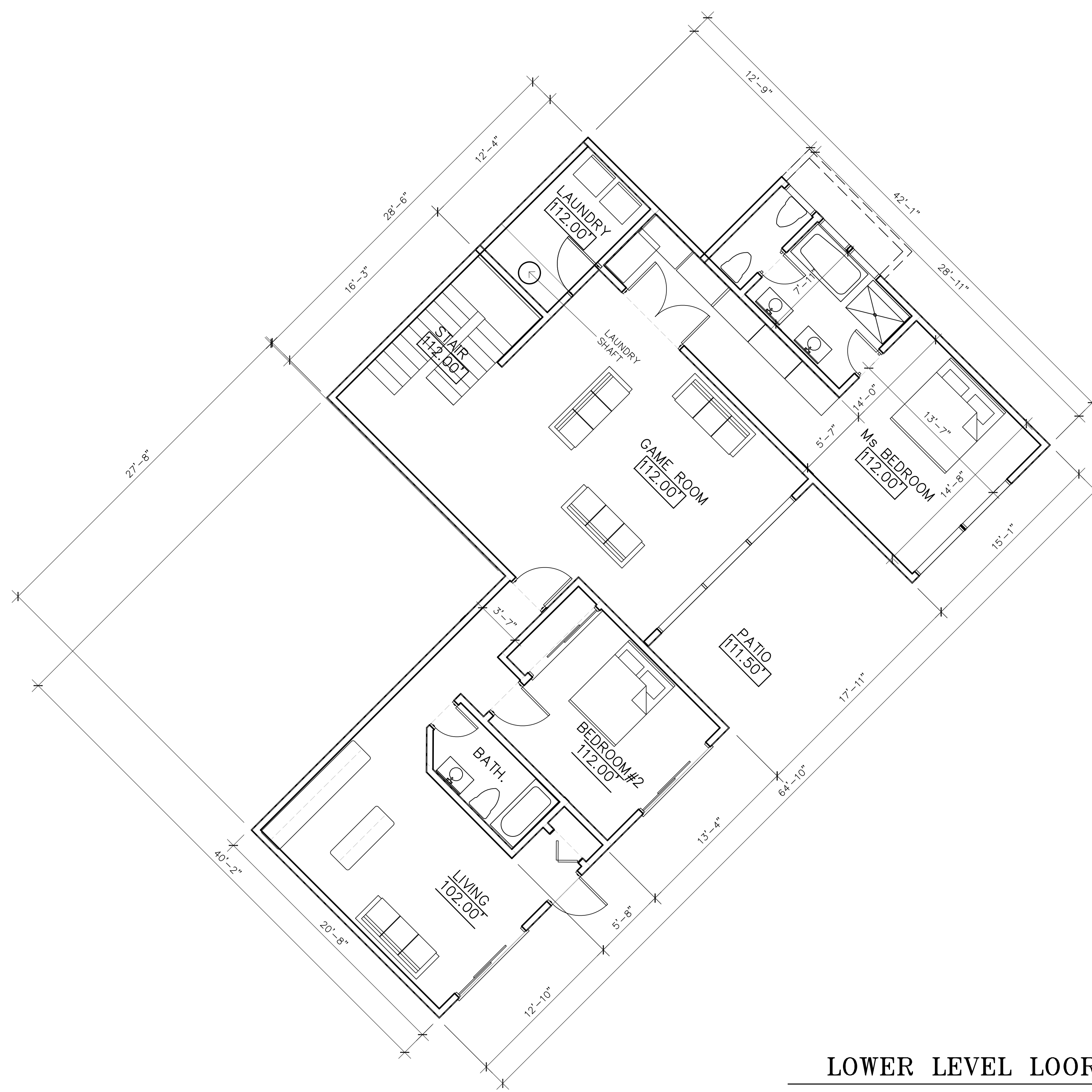
PLANNING	XXXXX	VMK
BUILDING	XXXXXX	VMK
	XXXXXX	VMK

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RUSSELL GRONSKY RESIDENCE  
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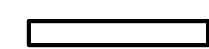


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 SCALE AS SHOWN  
 DRAWN VM  
 JOB TEST  
 SHEET A-0.1  
 OF SHEETS

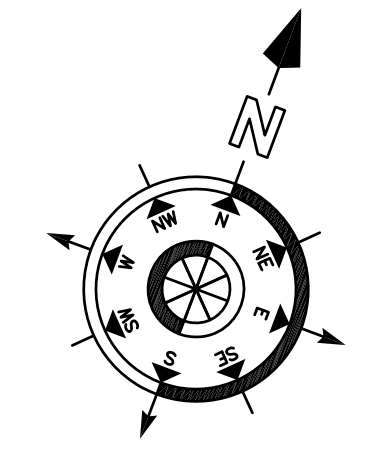




**LOWER LEVEL LOOR PLAN (1817 SQ.F.)**  
 SCALE 3/16"=1'-0"

**LEGEND**

-  (N) WALL
-  EXSTING DOOR
-  WINDOW TEMPERED



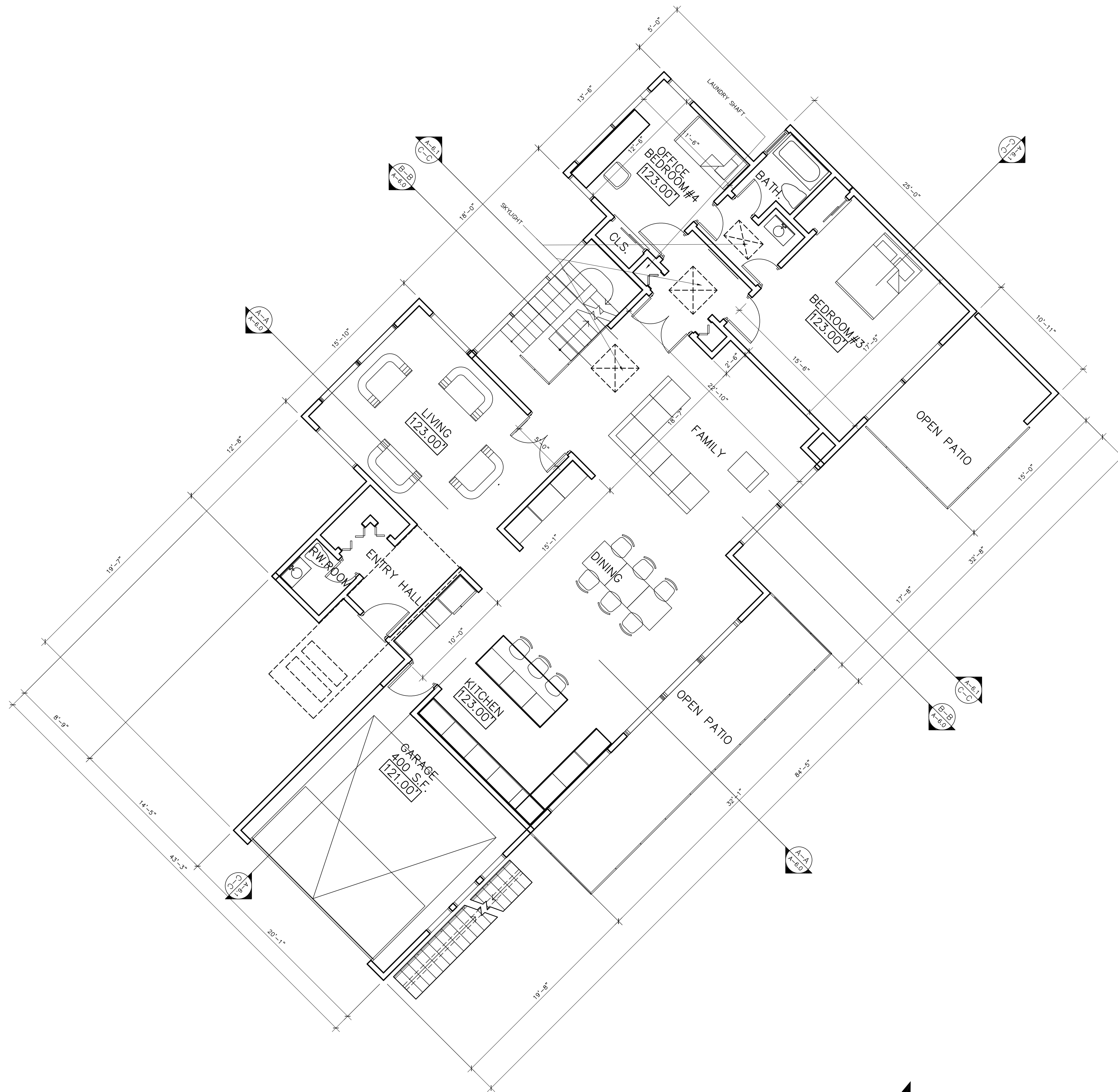
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JOB	RUSS
SHEET	<b>A-1.0</b>
OF	SHEETS

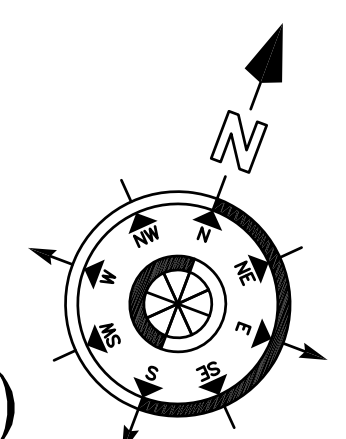
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- LEGEND**
- (N) WALL
  - NEW DOOR
  - NEW WINDOW

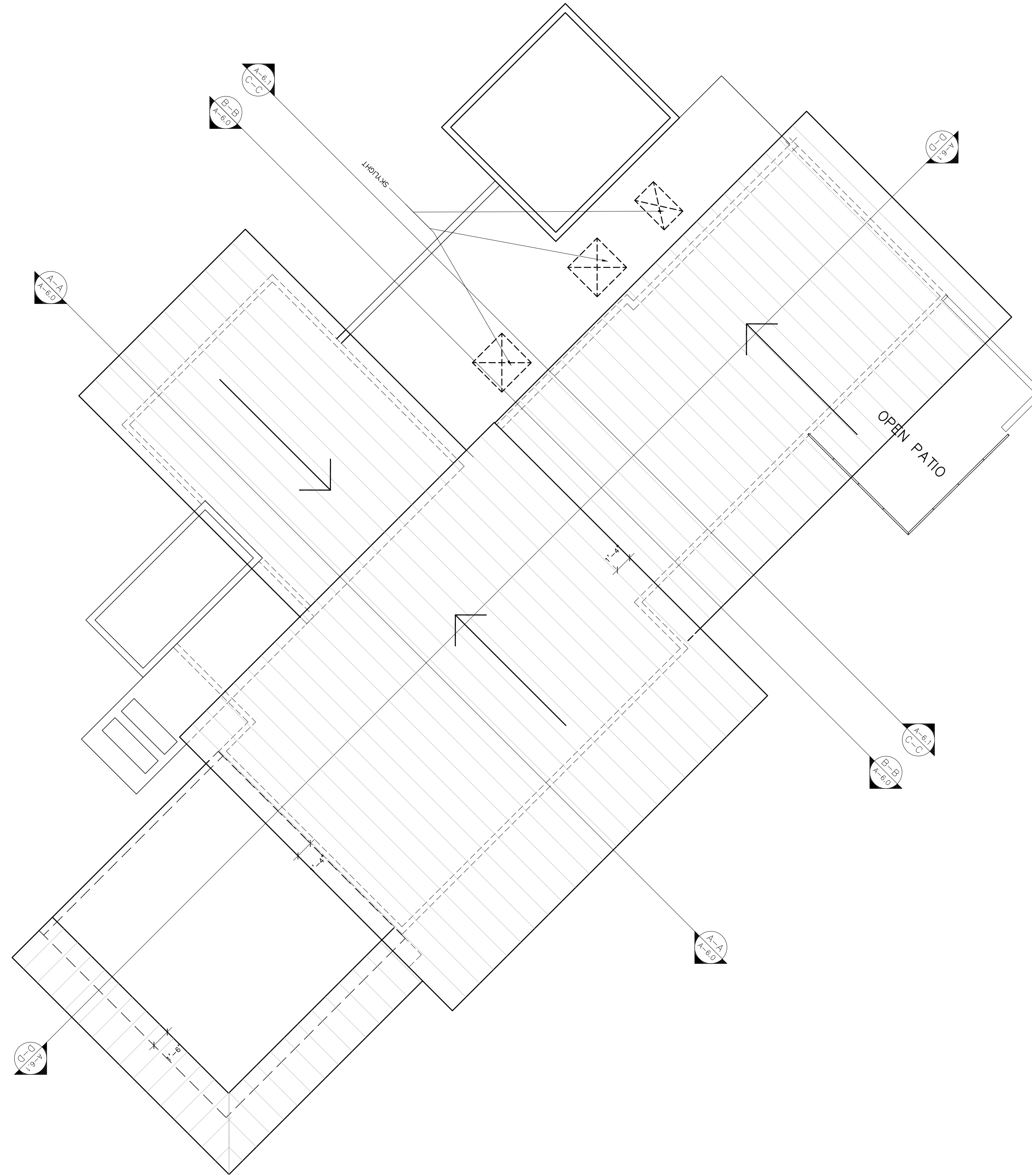


MAIN FLOOR PLAN (2,282.0 S.F.)

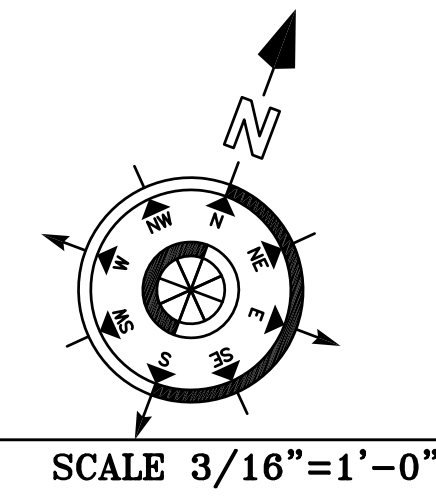
SCALE 3/16"=1'-0"

<p><b>RUSSELL GRONSKY RESIDENCE</b>  <b>1508 DEER CREEK LANE.</b>  <b>REDWOOD CITY, CA 94062</b></p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%; text-align: right;">DATE</td> <td>10/31/23</td> </tr> <tr> <td style="text-align: right;">SCALE</td> <td>3/16"=1'-0"</td> </tr> <tr> <td style="text-align: right;">DRAWN</td> <td>VMK</td> </tr> <tr> <td style="text-align: right;">JOB</td> <td>RUSS</td> </tr> <tr> <td style="text-align: right;">SHEET</td> <td><b>A-2.0</b></td> </tr> <tr> <td style="text-align: right;">OF</td> <td>SHEETS</td> </tr> </table>	DATE	10/31/23	SCALE	3/16"=1'-0"	DRAWN	VMK	JOB	RUSS	SHEET	<b>A-2.0</b>	OF	SHEETS
DATE	10/31/23												
SCALE	3/16"=1'-0"												
DRAWN	VMK												
JOB	RUSS												
SHEET	<b>A-2.0</b>												
OF	SHEETS												
<p><b>V M K D E S I G N G R O U P</b> VADIM MELIK-KARAMOY          ARCHITECTURAL DESIGN • PLANNING • INTERIOR Ph: 408.554.6110          WWW.VMKDESIGNGROUP.COM VMK@JPS.NET Fx: 408.516.9490          3777 STEVENS CREEK BLVD. SUITE 420          SANTA CLARA CA 95051</p>													





ROOF PLAN



RUSSELL GRONSKY RESIDENCE  
 1508 DEER CREEK LANE.  
 REDWOOD CITY, CA 94062

DATE	10/31/23
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DRAWN	VMK
JOB	RUSS
SHEET	A-3.0
OF	SHEETS

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Building	
	VMK

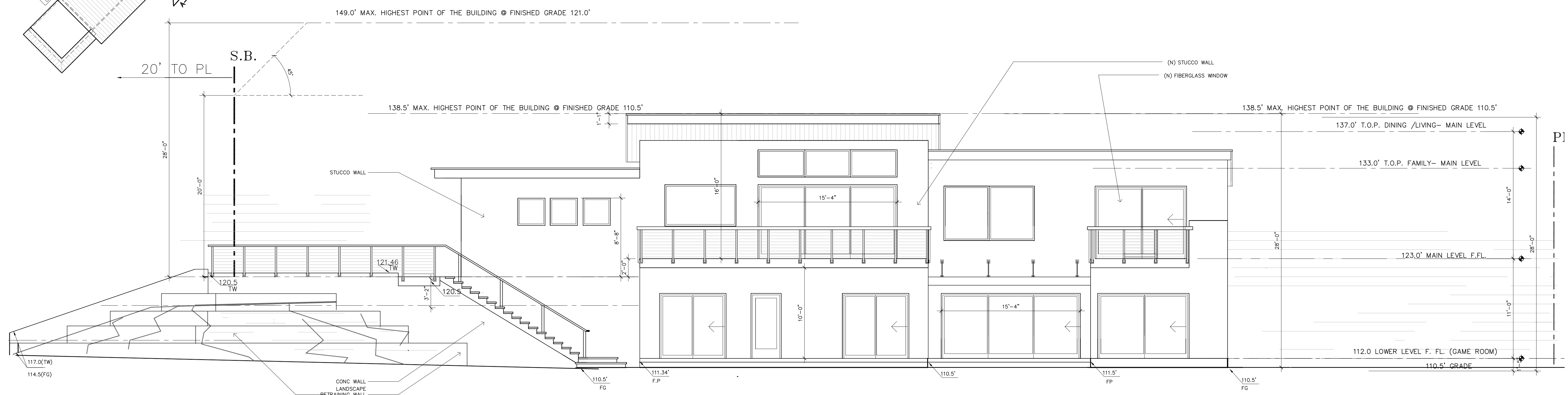
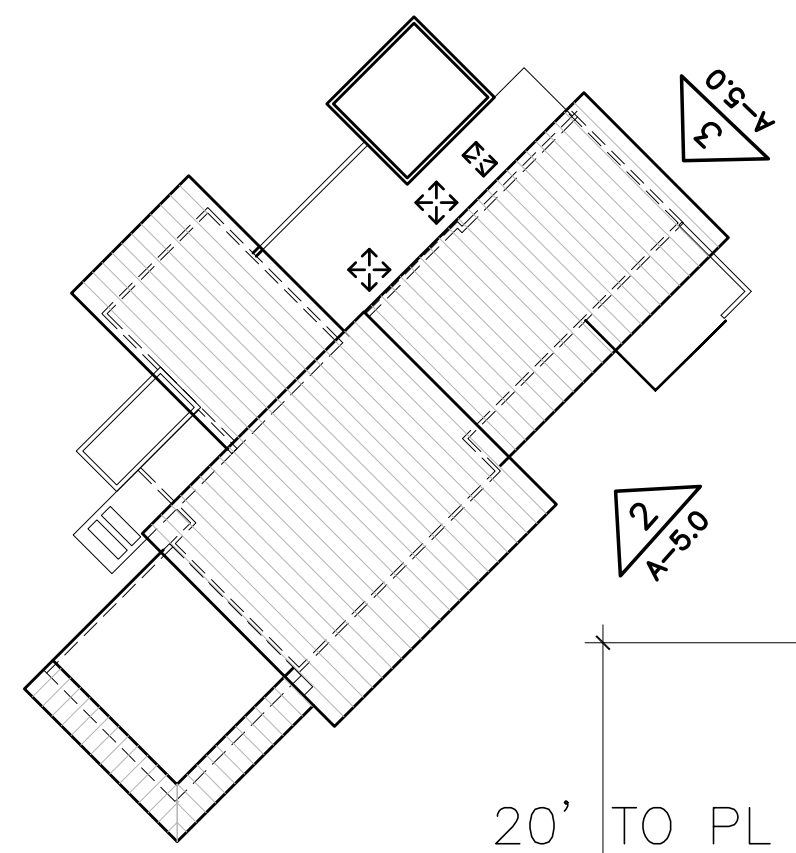
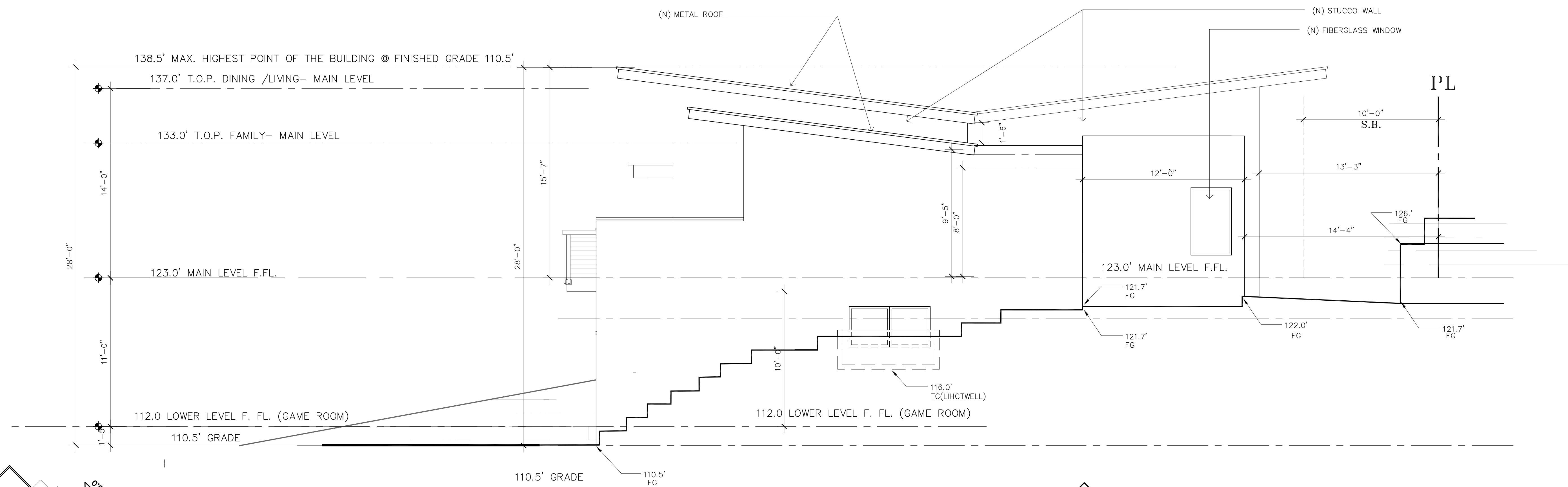
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RUSSELL GRONSKY RESIDENCE  
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 REDWOOD CITY, CA 94062

DATE	10/31/23
SCALE	AS SHOWN
DRAWN	VMK
JOB	RUSS
SHEET	A-5.0
OF	SHEETS



ELEVATIONS



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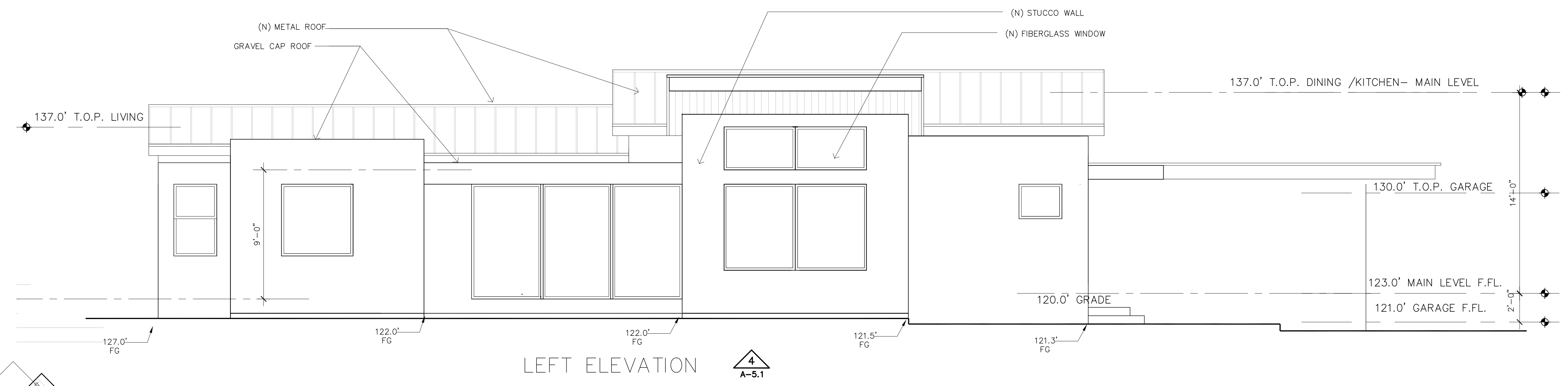
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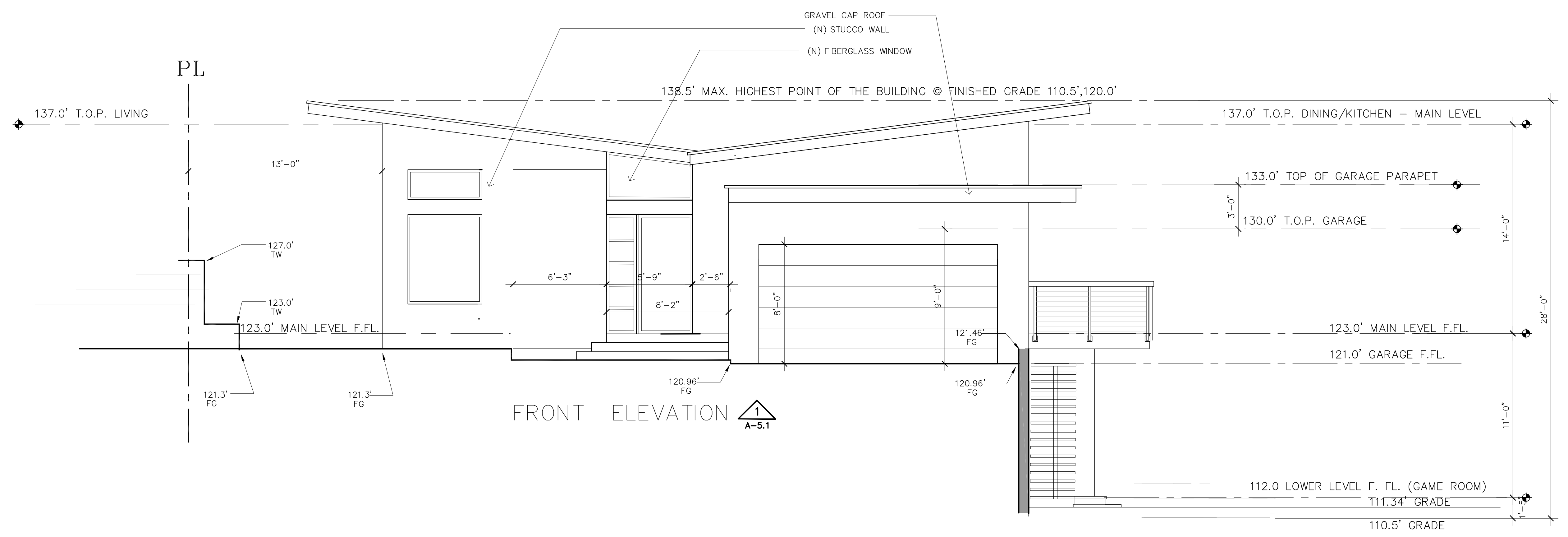
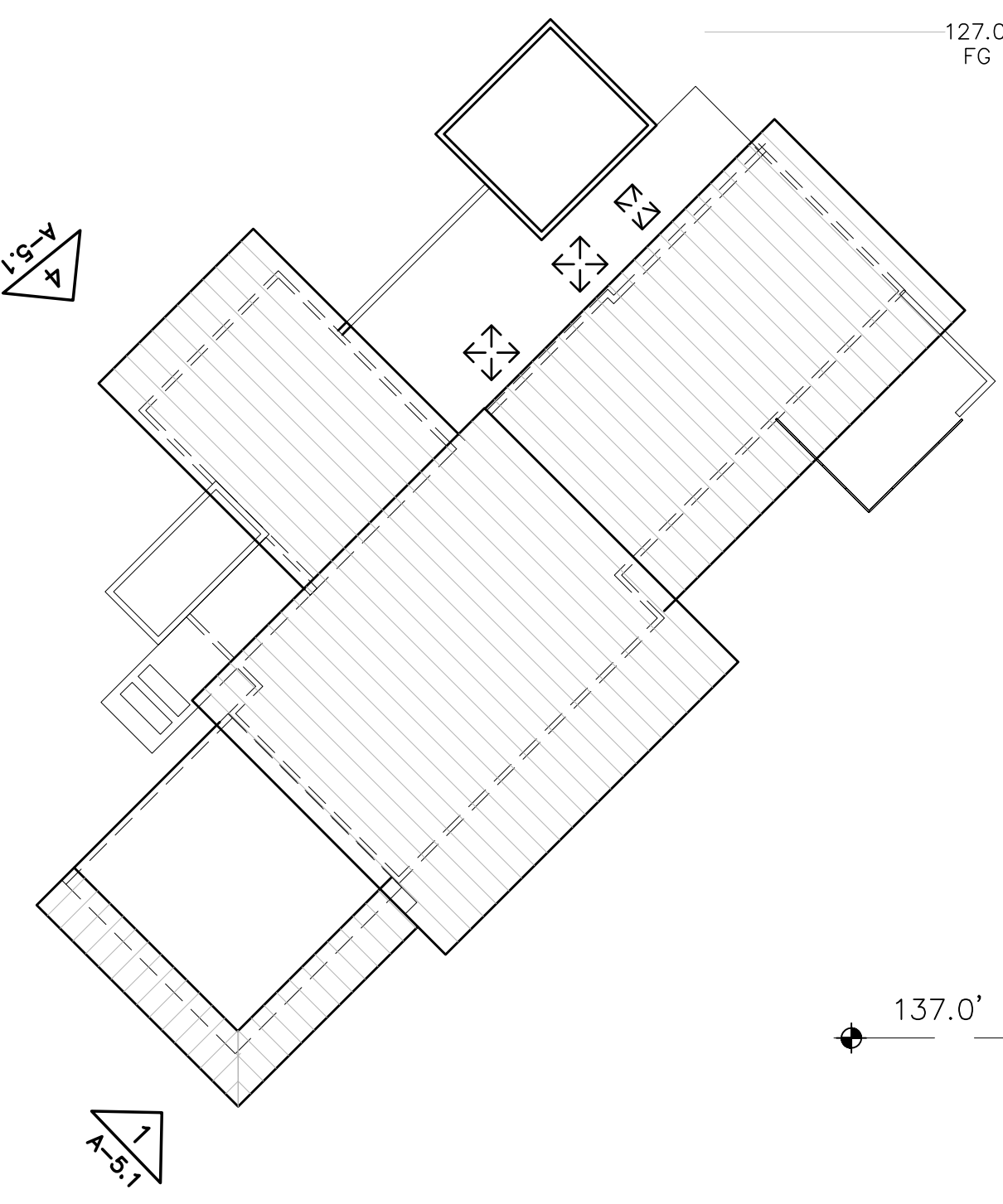
*Bellini*

RUSSELL GRONSKY RESIDENCE  
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DATE	10/31/23
SCALE	1/4"=1'-0"
DRAWN	VMK
JOB	RUSS
SHEET	A-5.1
OF	SHEETS



LEFT ELEVATION 4  
A-5.1

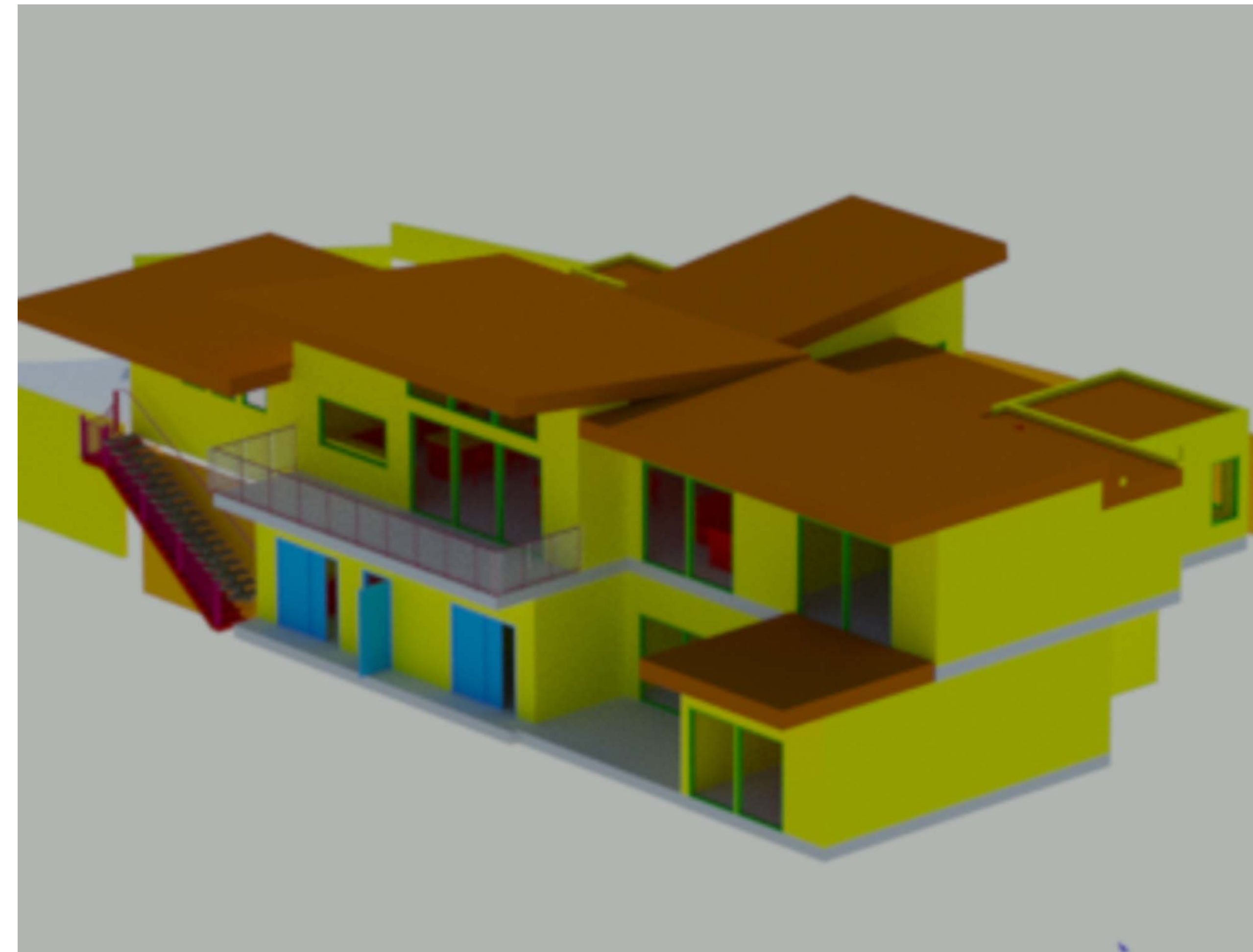
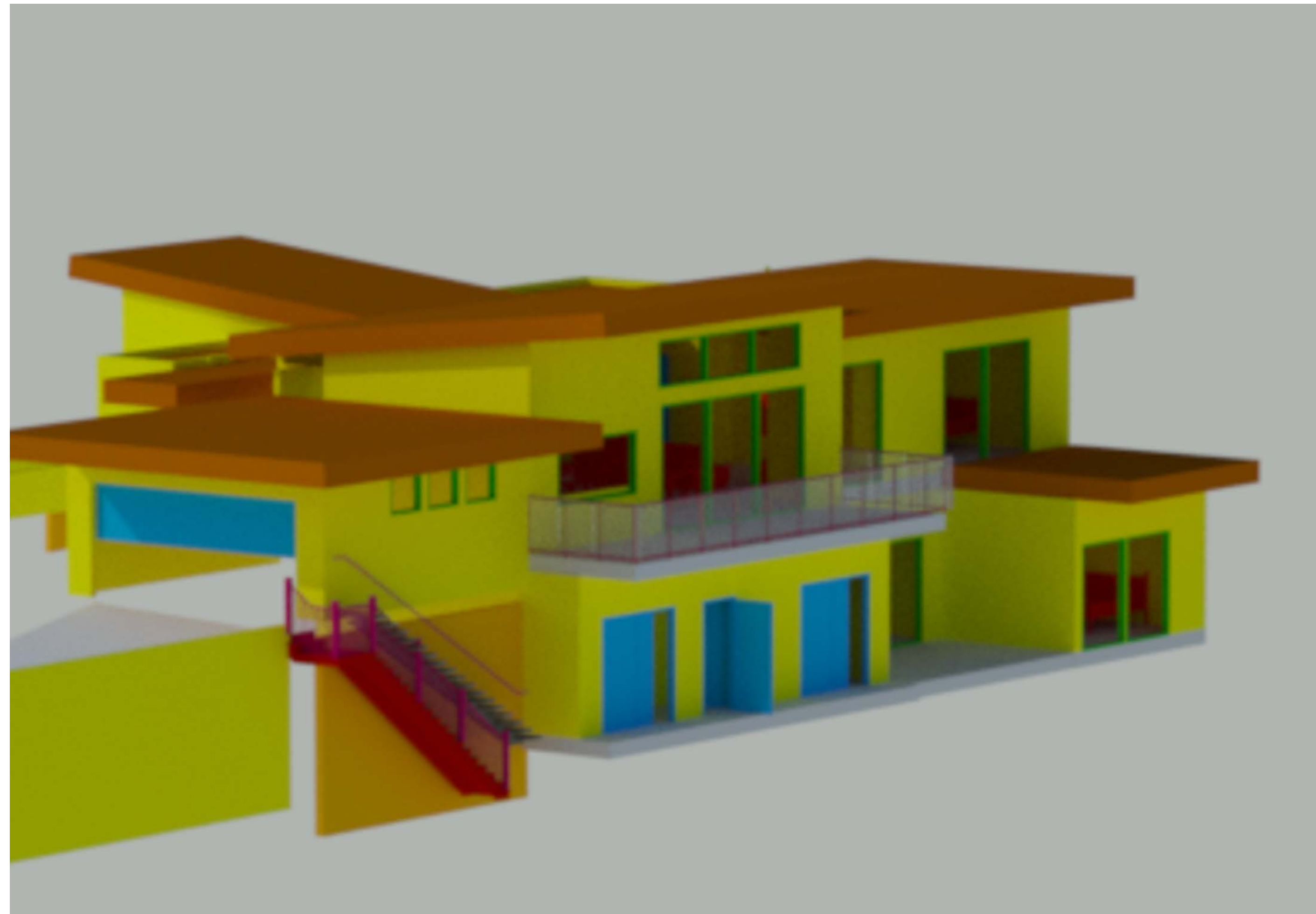
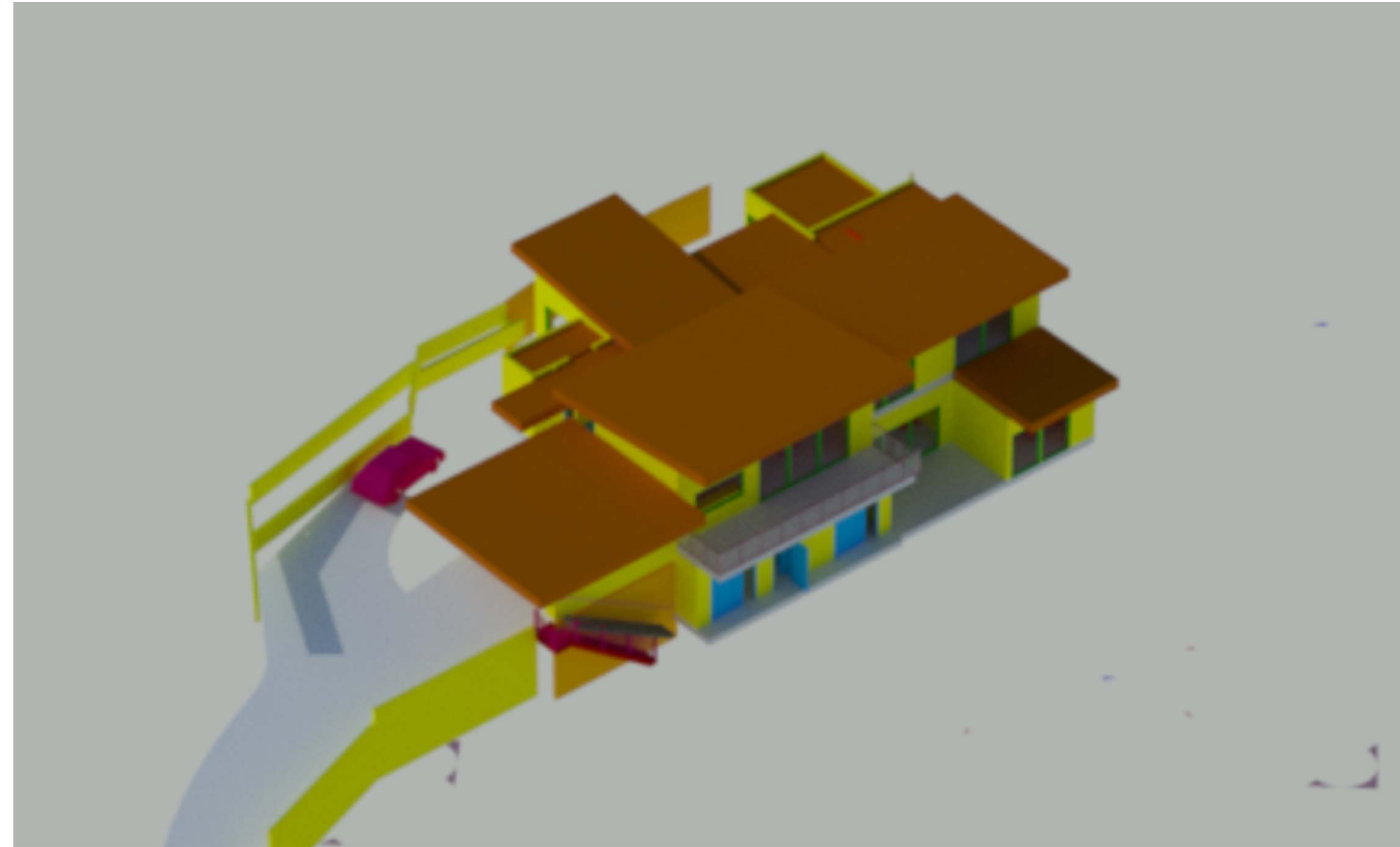


FRONT ELEVATION 1  
A-5.1

ELEVATIONS

SCALE 1/4"=1'-0"





3D BUILDING VIEW

N.T.S.

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Planning	
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Building	
	VMK

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*Russell*

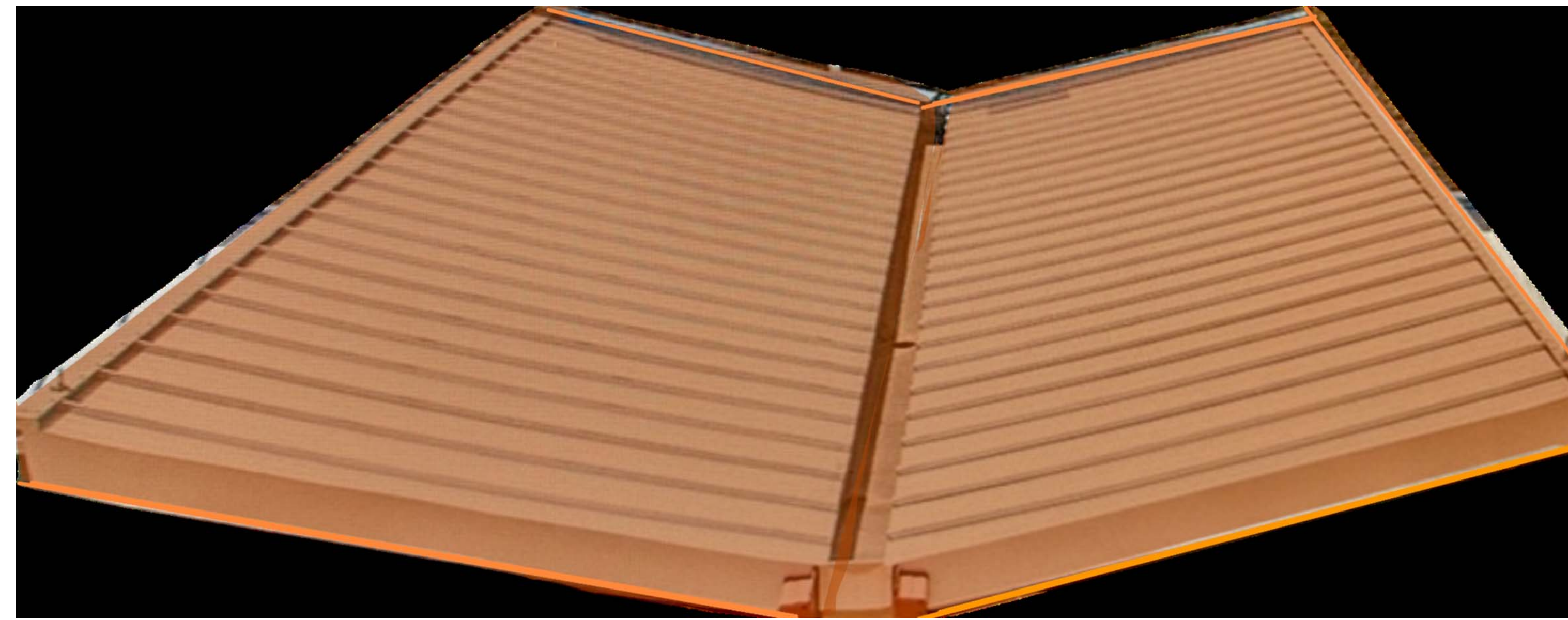
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SHEET	A-5.2
OF SHEETS	

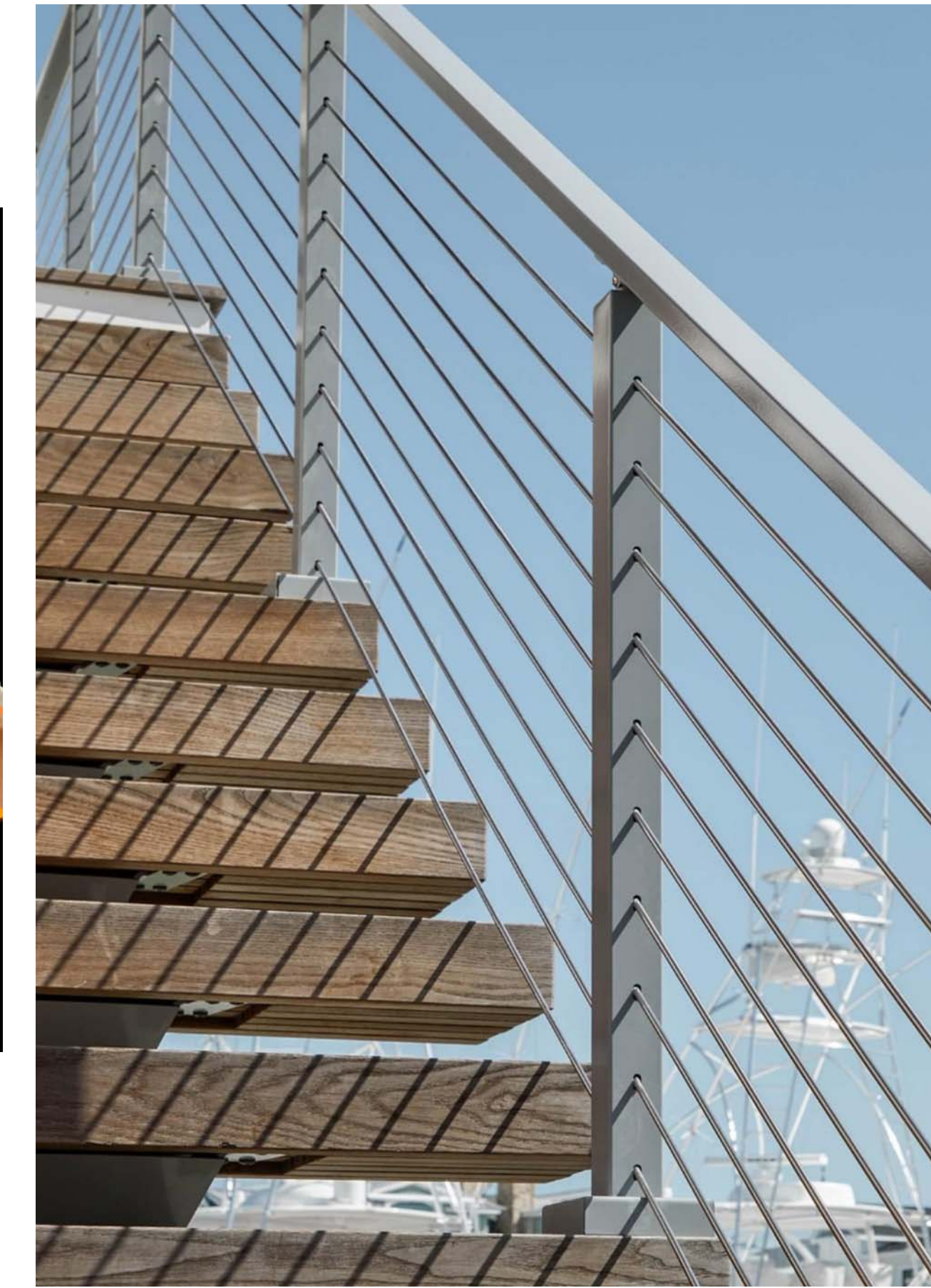




AX550 Moving Glass Walls Stacking Door



Mechanically Seamed Standing Seam Concealed Fastener Metal Panel



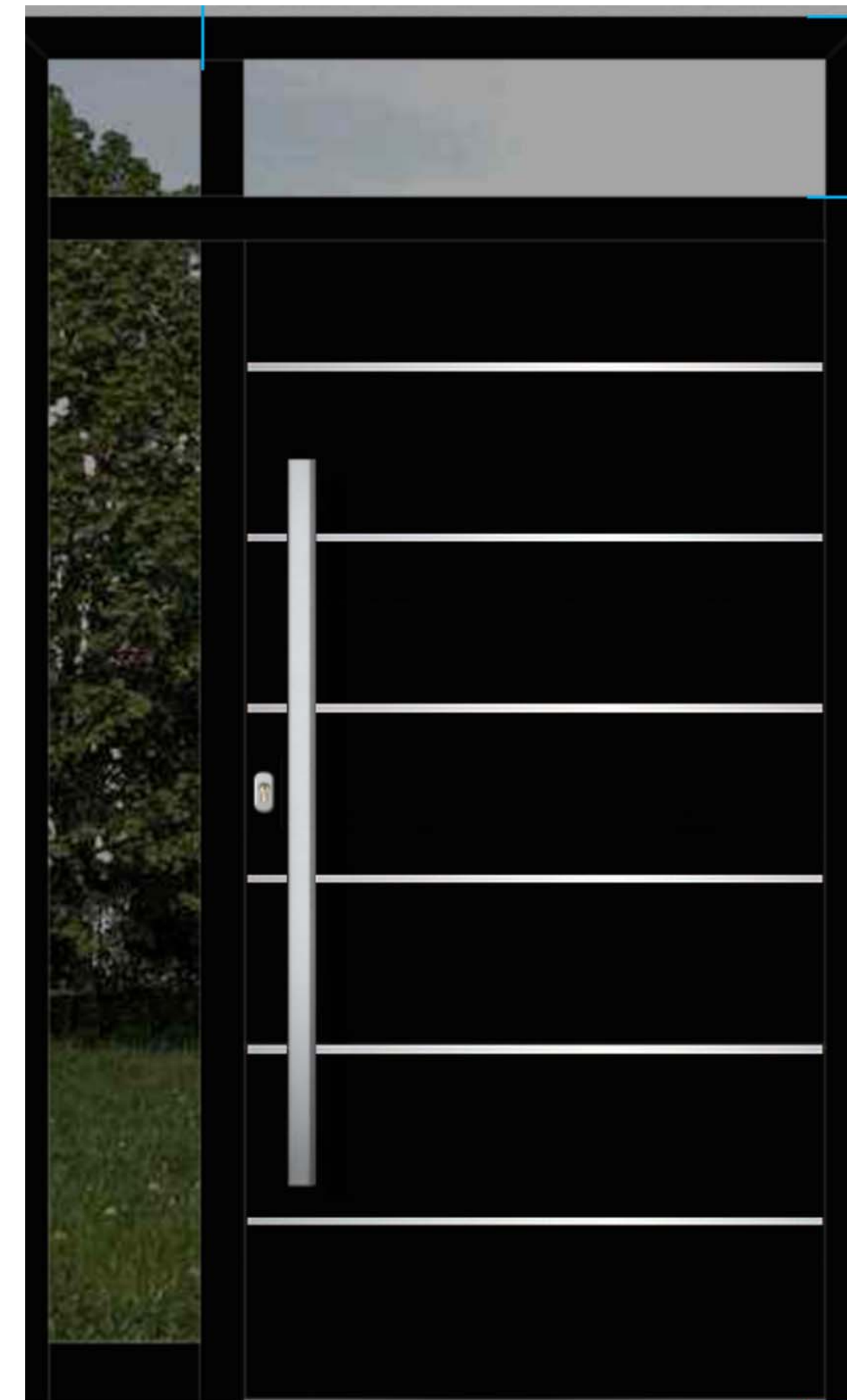
MonoFLIGHT\_Exterior\_ApolloWhite



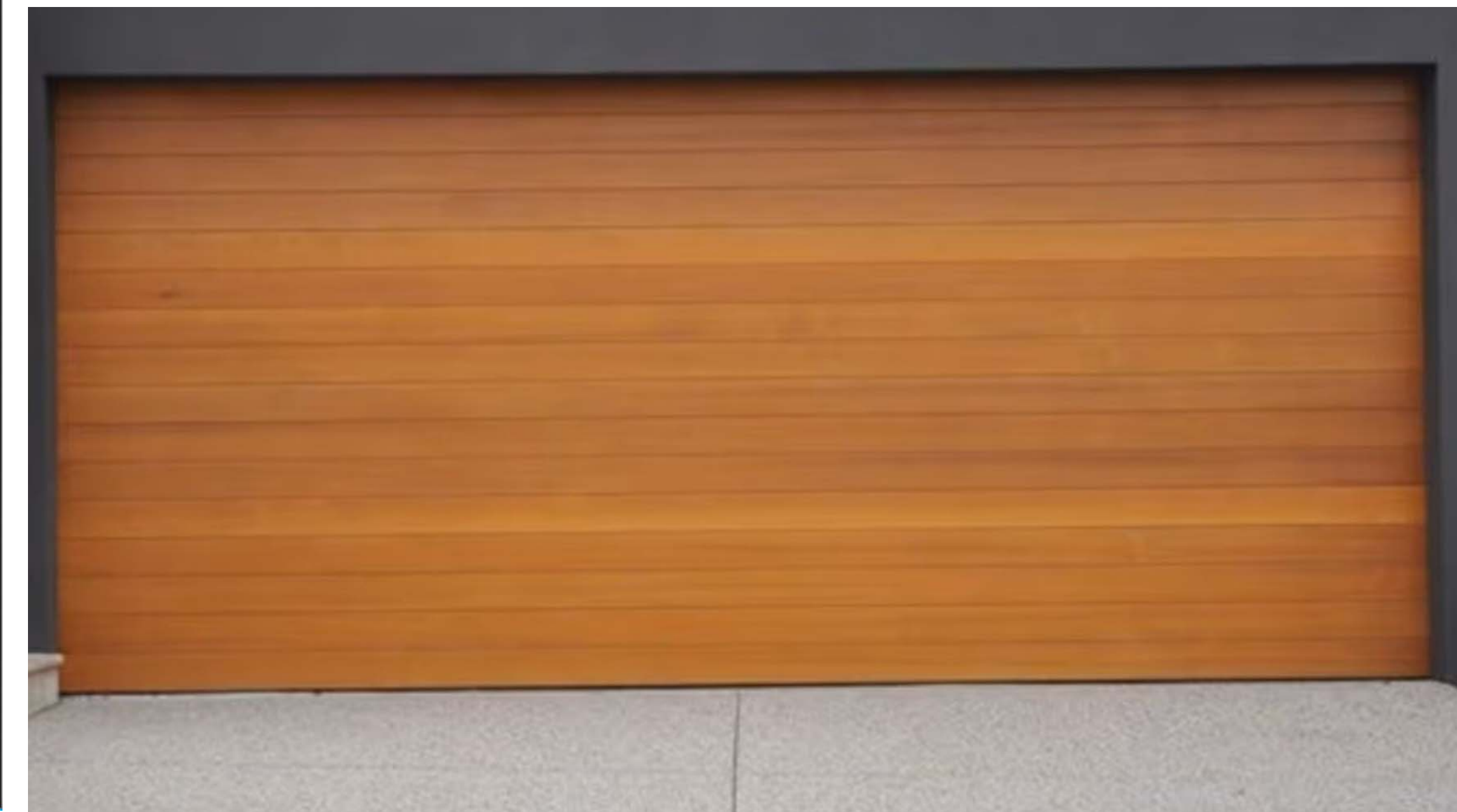
CableRailing\_AluminumSpeedboatSilver\_ColonialGrayHandrail



lumenos-20-inch-high-black-led-modern-landscape-path-light\_\_70t83cropped



Front Door



Garage Door

SPECIFICATIONS

N.T.S.

REVISION	BY
Planning	
xxxxx	VMK
Bulding	
	VMK

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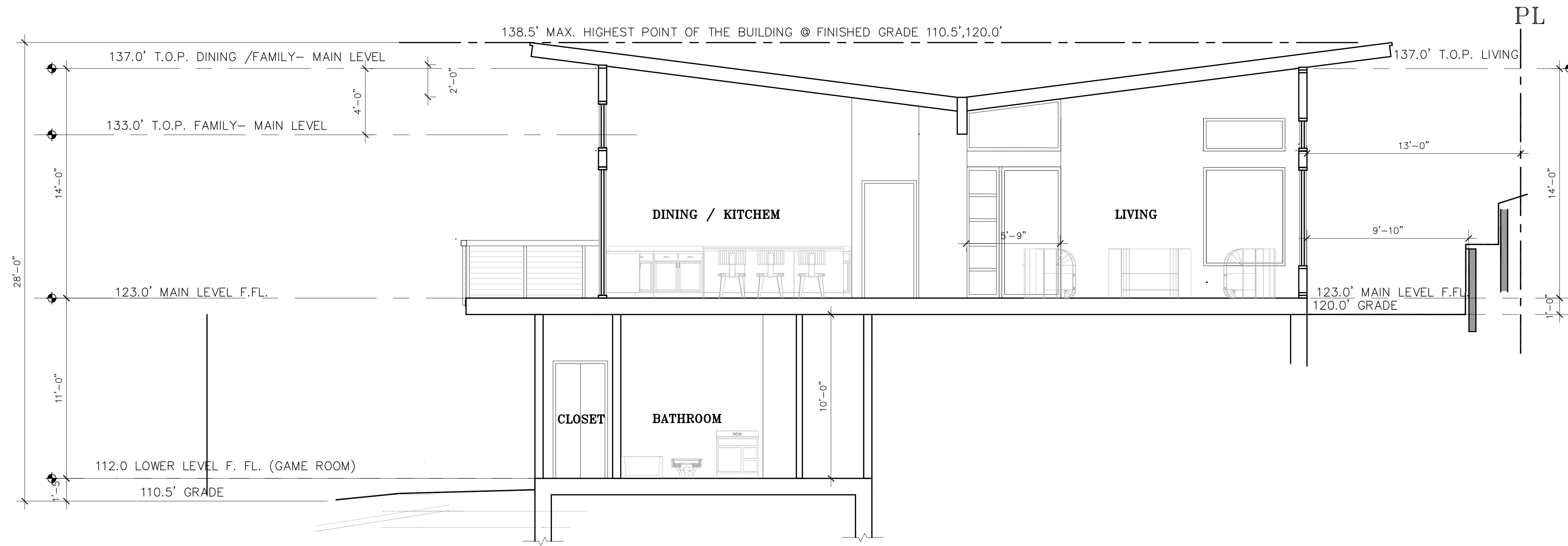
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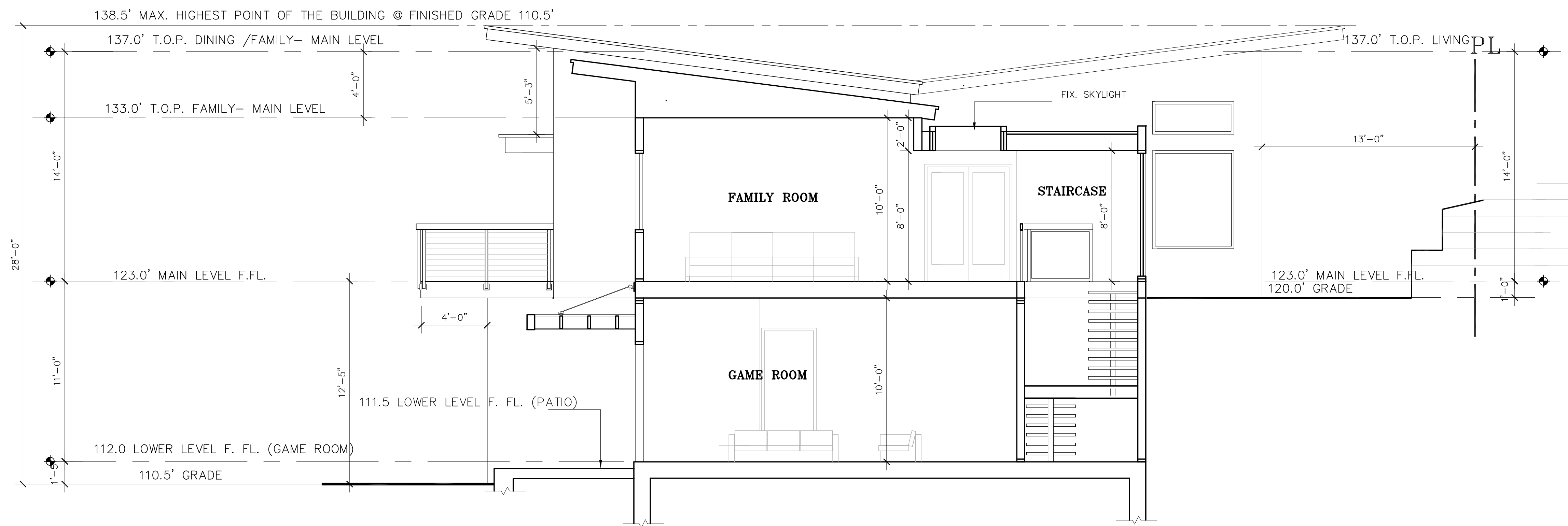
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DRAWN	VMK
JOB	RUSS
SHEET	A-5.3
OF SHEETS	

*Bellini*





SECTION A-A



SECTION B-B

SECTIONS

SCALE 1/4"=1'-0"

REVISION	BY
Planning	
xxxxx	VMK
Building	
	VMK

**V M K DESIGN GROUP** VADIM MELIK-KARAOV  
 CONCEPTUAL DESIGN, PLANNING, INTERIOR Ph: 408.554.6110  
 WWW.VMKDESIGNGROUP.COM VMK@JPS.NET Fax: 408.516.9490  
 3777 STEVENS CREEK BLVD. SUITE 420  
 SANTA CLARA CA 95051

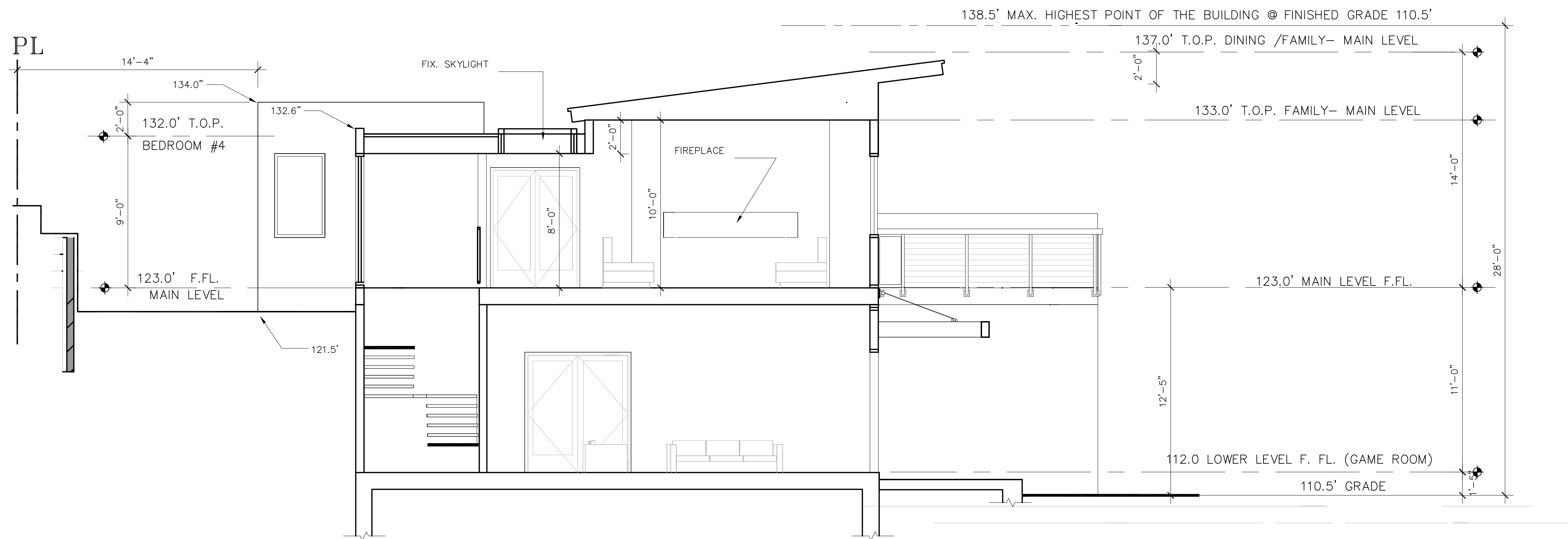
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*Russell*

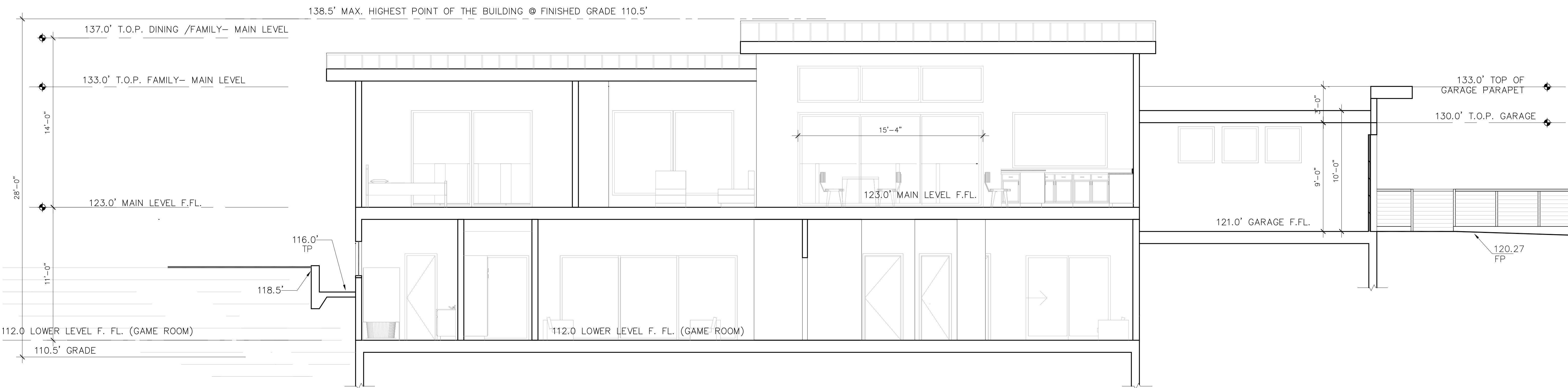
**RUSSELL GRONSKY RESIDENCE**  
**1508 DEER CREEK LANE.**  
**REDWOOD CITY, CA 94062**

DATE	10/31/23
SCALE	1/4"=1'-0"
DRAWN	VMK
JOB	RUSS
SHEET	A-6.0
OF	SHEETS





SECTION C-C



SECTION D-D

SECTION

SCALE 1/4"=1'-0"

REVISION	BY
Planning	
xxxxx	VMK
Bulding	
	VMK

V M K D E S I G N G R O U P VADIM MELIK-KARAMOV  
 CONCEPTUAL DESIGN, PLANNING, INTERIOR Ph: 408.554.6110  
 WWW.VMKDESIGNGROUP.COM VMK@JPS.NET Fax: 408.516.9490  
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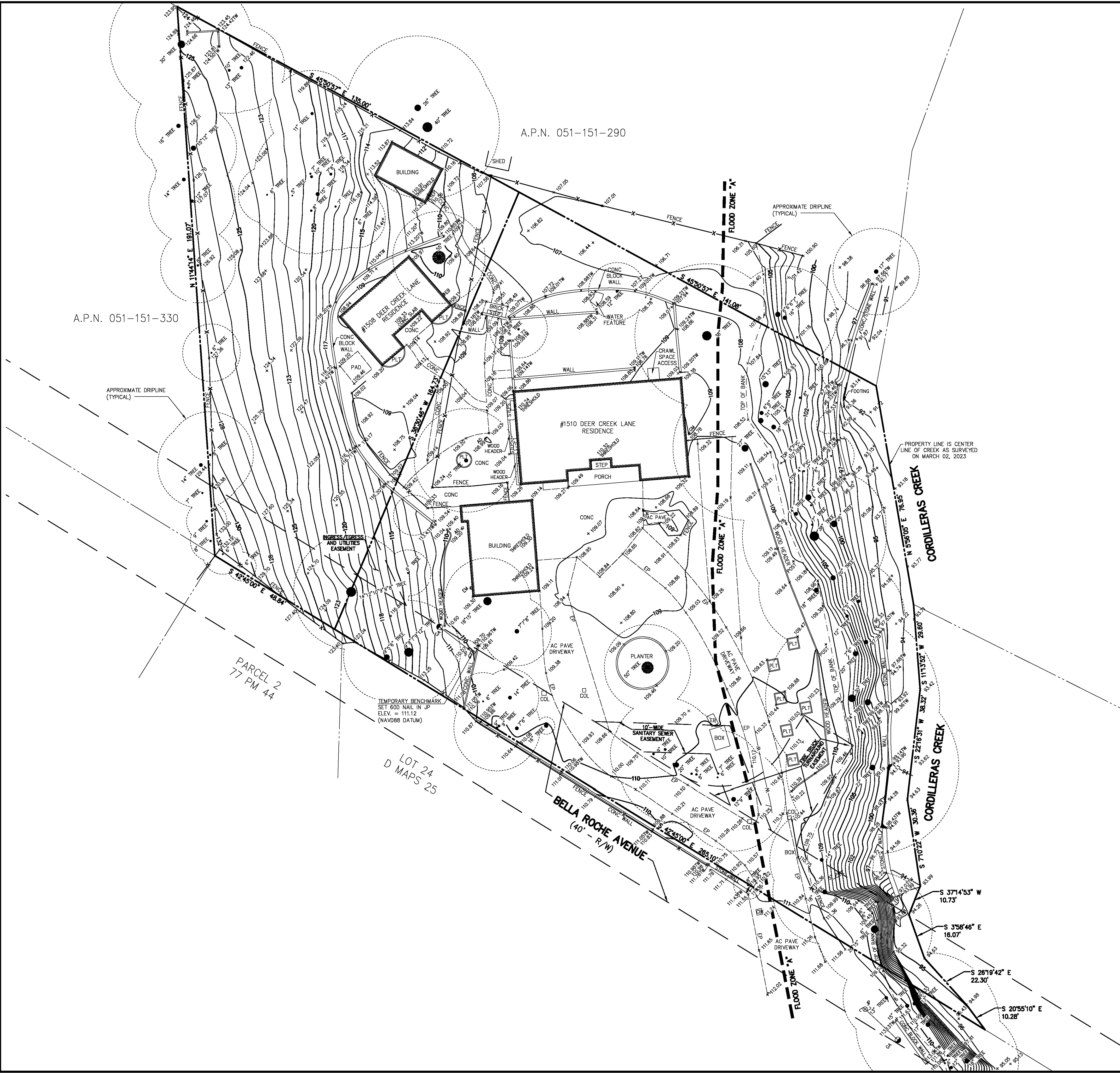
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*Russell*

RUSSELL GRONSKY RESIDENCE  
 1508 DEER CREEK LANE.  
 REDWOOD CITY, CA 94062

DATE	10/31/23
SCALE	1/4"=1'-0"
DRAWN	VMK
JOB	RUSS
SHEET	A-6.1
OF	SHEETS





**LEGEND**

- |         |                           |
|---------|---------------------------|
| ---     | PROPERTY LINE             |
| AC PAVE | ASPHALT CONCRETE PAVEMENT |
| AD      | AREA DRAIN                |
| CB      | CATCH BASIN               |
| COL     | COLUMN                    |
| CONC    | CONCRETE                  |
| EB      | ELECTRIC BOX              |
| EM      | ELECTRIC METER            |
| EP      | EDGE OF PAVEMENT          |
| GA      | GUY ANCHOR                |
| GM      | GAS METER                 |
| INV     | INVERT                    |
| JP      | JOINT UTILITY POLE        |
| PLT     | PLANTER                   |
| TW      | TOP OF WALL               |
| ●       | TREE W/ SIZE              |
| -X-X-   | FENCE                     |
| -W-     | WATER LINE                |

**#1508 LOT AREA:**

= 14,863 SQ. FT. ±  
= 0.341 ACRES ±

**#1510 LOT AREA:**

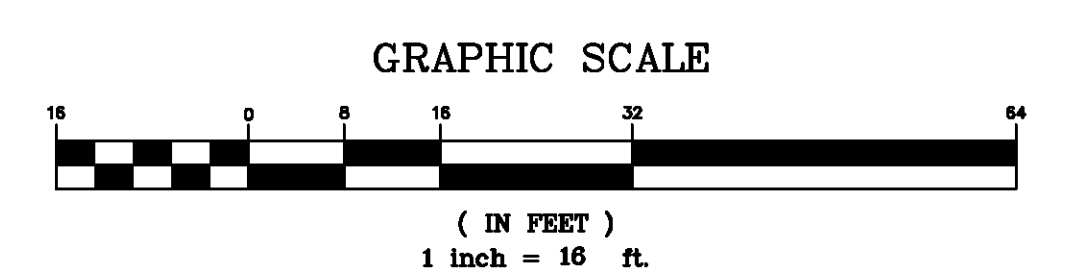
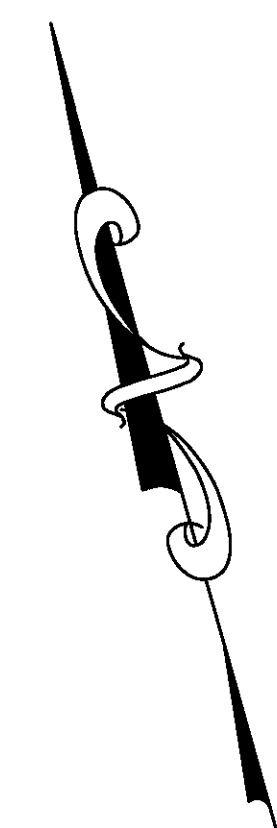
= 32,769 SQ. FT. ±  
= 0.752 ACRES ±

**UTILITY NOTE:**

THE UTILITIES EXISTING ON THE SURFACE AND SHOWN ON THIS DRAWING HAVE BEEN LOCATED BY FIELD SURVEY. ALL UNDERGROUND UTILITIES SHOWN ON THIS DRAWING ARE FROM RECORDS OF THE VARIOUS UTILITY COMPANIES AND THE SURVEYOR/ENGINEER DOES NOT ASSUME RESPONSIBILITY FOR THEIR COMPLETENESS, INDICATED LOCATION, OR SIZE. RECORD UTILITY LOCATION SHOULD BE CONFIRMED BY EXPOSING THE UTILITY.

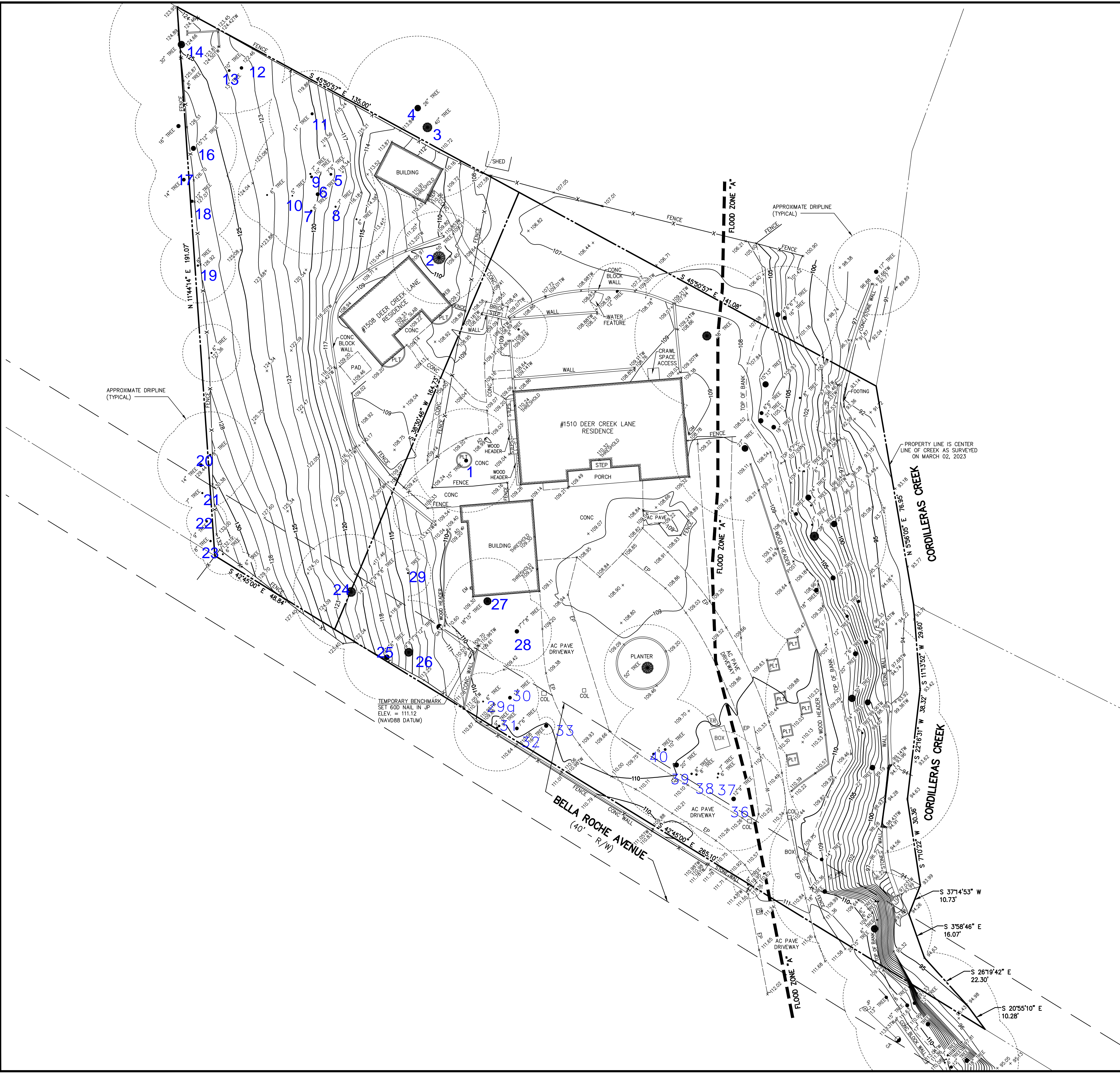
**FLOOD ZONE NOTE:**

A PORTION OF PROPERTY LIES WITHIN FLOOD ZONE "A" AS SHOWN ON F.E.M.A. FLOOD INSURANCE RATE MAP NO. 06081C0282E, DATED OCTOBER 16, 2012.



<p><b>MACLEOD AND ASSOCIATES</b> CIVIL ENGINEERING - LAND SURVEYING 965 CENTER STREET - SAN CARLOS, CA 94070 - (650) 593-8580</p>	
<p>PREPARED FOR: <b>RUSSELL GRONSKY</b></p>	<p>DATE: BY: DESCRIPTION: REV:</p>
<p><b>BOUNDARY AND TOPOGRAPHIC SURVEY PLAN</b> 1508 AND 1510 DEER CREEK ROAD A.P.N. 051-151-260 and 270 DOC. NO. 2004-059094 SAN MATEO COUNTY CALIFORNIA UNINCORPORATED</p>	
<p>DRAWN BY: EM/ML DESIGNED BY: --- CHECKED BY: DGM SCALE: 1"=16' DATE: 03-29-23 DRAWING NO. 5402-TOPO SHEET 1 OF 1</p>	





**LEGEND**

---	PROPERTY LINE
AC PAVE	ASPHALT CONCRETE PAVEMENT
AD	AREA DRAIN
CB	CATCH BASIN
COL	COLUMN
CONC	CONCRETE
EB	ELECTRIC BOX
EM	ELECTRIC METER
EP	EDGE OF PAVEMENT
GA	GUY ANCHOR
GM	GAS METER
INV	INVERT
JP	JOINT UTILITY POLE
PLT	PLANTER
TW	TOP OF WALL
●	TREE W/ SIZE
-X-	FENCE
-W-	WATER LINE

**#1508 LOT AREA:**

= 14,863 SQ. FT. ±  
= 0.341 ACRES ±

**#1510 LOT AREA:**

= 32,769 SQ. FT. ±  
= 0.752 ACRES ±

**UTILITY NOTE:**

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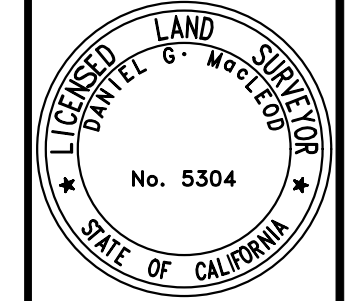
**EASEMENT NOTE:**

EASEMENTS, IF ANY, ARE NOT INDICATED HEREON.

**FLOOD ZONE NOTE:**

A PORTION OF PROPERTY LIES WITHIN FLOOD ZONE "A" AS SHOWN ON F.E.M.A. FLOOD INSURANCE RATE MAP NO. 06081C0282E, DATED OCTOBER 16, 2012.

DATE:	
BY:	
DESCRIPTION:	
REV:	

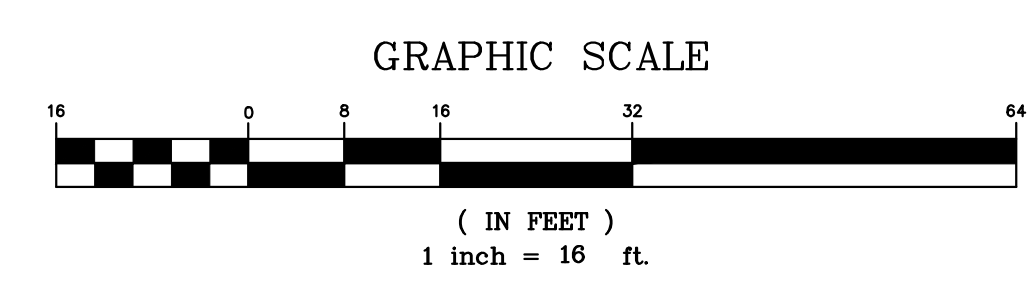


**MACLEOD AND ASSOCIATES**  
 CIVIL ENGINEERING • LAND SURVEYING  
 965 CENTER STREET • SAN CARLOS, CA 94070 • (650) 593-8580

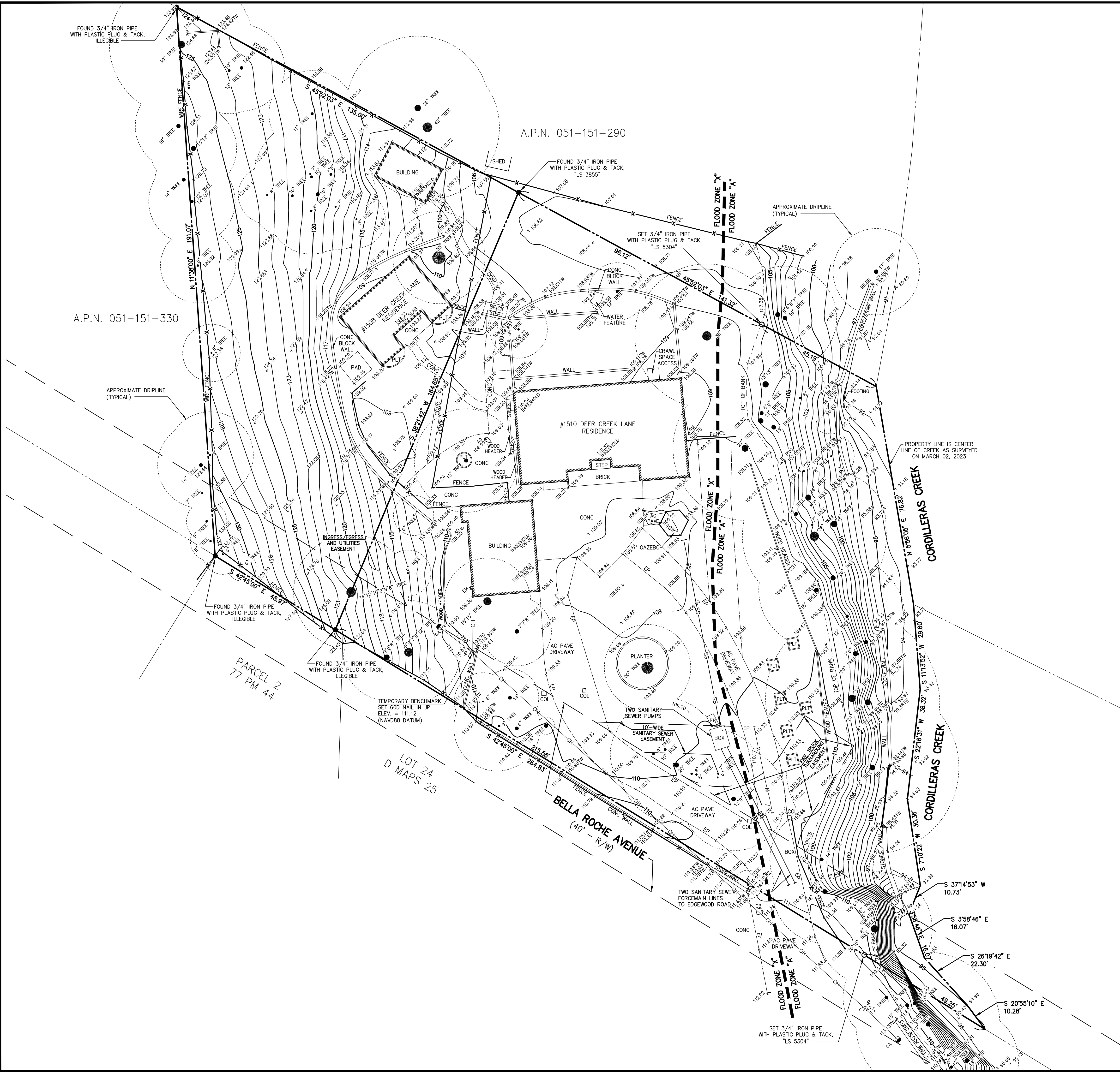
PREPARED FOR:  
 RUSSELL GRONSKY

**BOUNDARY AND TOPOGRAPHIC SURVEY PLAN**  
 1508 AND 1510 DEER CREEK ROAD  
 A.P.N. 051-151-260 and 270  
 DOC. NO. 2004-059094  
 UNINCORPORATED SAN MATEO COUNTY CALIFORNIA

DRAWN BY: EM/ML  
 DESIGNED BY: ---  
 CHECKED BY: DGM  
 SCALE: 1"=16'  
 DATE: 03-09-23  
 DRAWING NO. 5402-TOPO  
 SHEET 1 OF 1







**LEGEND**

- PROPERTY LINE
- AC PAVE ASPHALT CONCRETE PAVEMENT
- AD AREA DRAIN
- CB CATCH BASIN
- COL COLUMN
- CONC CONCRETE
- EB ELECTRIC BOX
- EM ELECTRIC METER
- EP EDGE OF PAVEMENT
- GA GUY ANCHOR
- GM GAS METER
- INV INVERT
- JP JOINT UTILITY POLE
- PLT PLANTER
- TW TOP OF WALL
- 12" TREE
- FENCE
- WATER LINE
- OH OVERHEAD UTILITY LINE
- ASPHALT CONCRETE PAVEMENT
- CATCH BASIN
- COLUMN
- CONCRETE
- ELECTRIC BOX
- ELECTRIC METER
- EDGE OF PAVEMENT
- GUY ANCHOR
- GAS METER
- INVERT
- JOINT UTILITY POLE
- PLANTER
- TOP OF WALL
- TREE W/ SIZE
- FENCE
- WATER LINE
- OVERHEAD UTILITY LINE

**#1508 LOT AREA:**

= 14,860 SQ. FT. ±  
= 0.341 ACRES ±

**#1510 LOT AREA:**

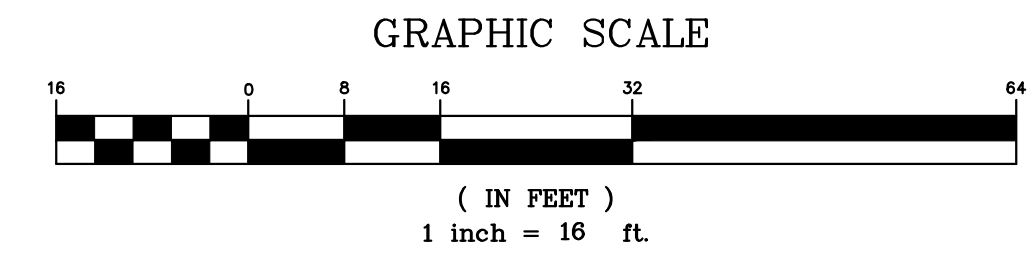
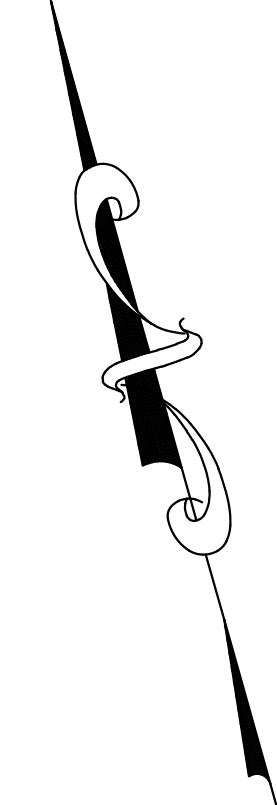
= 32,743 SQ. FT. ±  
= 0.752 ACRES ±

**UTILITY NOTE:**

THE UTILITIES EXISTING ON THE SURFACE AND SHOWN ON THIS DRAWING HAVE BEEN LOCATED BY FIELD SURVEY. ALL UNDERGROUND UTILITIES SHOWN ON THIS DRAWING ARE FROM RECORDS OF THE VARIOUS UTILITY COMPANIES AND THE SURVEYOR/ENGINEER DOES NOT ASSUME RESPONSIBILITY FOR THEIR COMPLETENESS, INDICATED LOCATION, OR SIZE. RECORD UTILITY LOCATION SHOULD BE CONFIRMED BY EXPOSING THE UTILITY.

**FLOOD ZONE NOTE:**

PORTIONS OF THE PROPERTY LIE WITHIN FLOOD ZONE "A" AND FLOOD ZONE "X" AS SHOWN ON F.E.M.A. FLOOD INSURANCE RATE MAP NO. 06081C0282E, DATED OCTOBER 16, 2012.



	DATE: _____
	BY: _____
	DESCRIPTION: _____
<p><b>MACLEOD AND ASSOCIATES</b>          CIVIL ENGINEERING • LAND SURVEYING          965 CENTER STREET • SAN CARLOS, CA 94070 • (650) 593-8580</p>	
PREPARED FOR:	RUSSELL GRONSKY
BOUNDARY AND TOPOGRAPHIC SURVEY PLAN 1508 AND 1510 DEER CREEK LANE A.P.N. 051-151-260 and 270	CALIFORNIA
DRAWN BY: EM/ML	UNINCORPORATED SAN MATEO COUNTY
DESIGNED BY: ---	DOC. NO. 2004-059094
CHECKED BY: DGM	DATE: 04-25-23
SCALE: 1"=16'	DRAWING NO. 5402-TOPO
DATE: 04-25-23	SHEET
	<p><b>C-1</b> 1 OF 5</p>





**MACLEOD AND ASSOCIATES**  
 CIVIL ENGINEERING • LAND SURVEYING  
 965 CENTER STREET • SAN CARLOS • CA 94070 • (650) 593-8580

PREPARED FOR:  
 RUSSELL GRONSKY

UNINCORPORATED SAN MATEO COUNTY CALIFORNIA

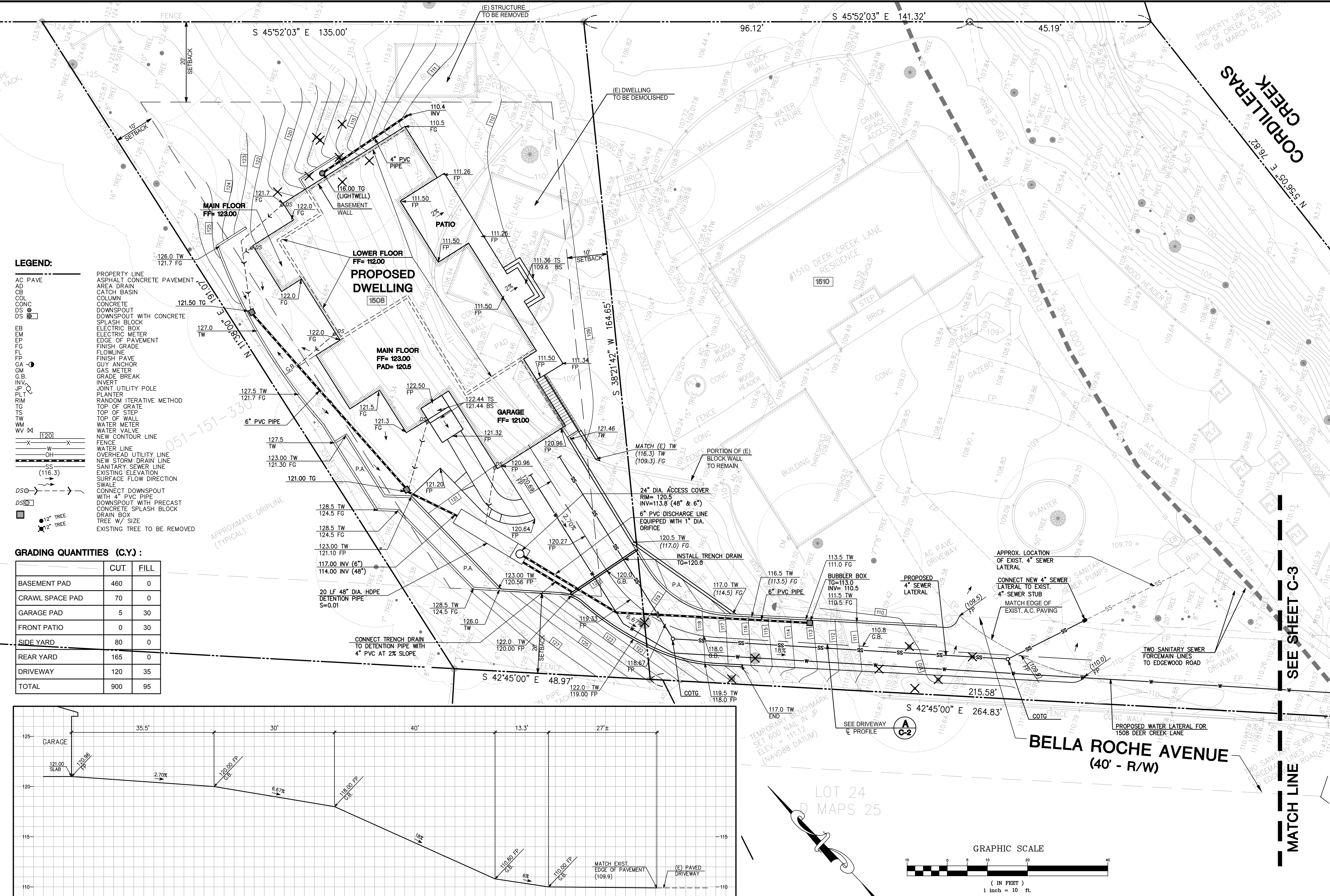
1508 DEER CREEK LANE

PRELIMINARY GRADING, DRAINAGE AND UTILITY PLAN

DRAWN BY: AAP  
 DESIGNED BY: VPG  
 CHECKED BY: DGM

SCALE: 1"=10'  
 DATE: 12/15/23  
 DRAWING NO. 5402-GRAD

SHEET **C-2**  
 2 OF 5

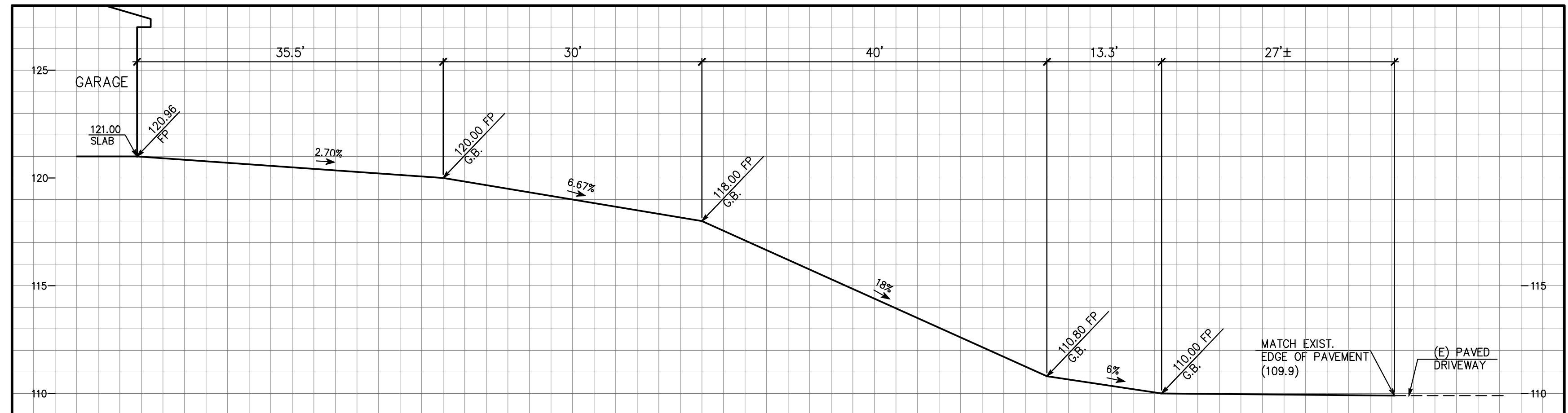


**LEGEND:**

- |         |                                              |
|---------|----------------------------------------------|
| AC PAVE | PROPERTY LINE                                |
| AD      | ASPHALT CONCRETE PAVEMENT                    |
| CB      | AREA DRAIN                                   |
| COL     | CATCH BASIN                                  |
| CONC    | COLUMN                                       |
| DS      | CONCRETE                                     |
| DS      | DOWNSPOUT                                    |
| DS      | DOWNSPOUT WITH CONCRETE SPLASH BLOCK         |
| EM      | ELECTRIC BOX                                 |
| EP      | ELECTRIC METER                               |
| FG      | EDGE OF PAVEMENT                             |
| FL      | FINISH GRADE                                 |
| FP      | FLOWLINE                                     |
| GA      | FINISH PAVE                                  |
| GM      | GUY ANCHOR                                   |
| G.B.    | GAS METER                                    |
| INV     | GRADE BREAK                                  |
| JP      | INVERT                                       |
| PL      | JOINT UTILITY POLE                           |
| PLT     | PLANTER                                      |
| RIM     | RANDOM ITERATIVE METHOD                      |
| TG      | TOP OF GRATE                                 |
| TW      | TOP OF STEP                                  |
| TW      | TOP OF WALL                                  |
| WM      | WATER METER                                  |
| WV      | WATER VALVE                                  |
| WV      | NEW CONTOUR LINE                             |
|         | FENCE                                        |
|         | WATER LINE                                   |
|         | OVERHEAD UTILITY LINE                        |
|         | NEW STORM DRAIN LINE                         |
|         | SANITARY SEWER LINE                          |
|         | EXISTING ELEVATION                           |
|         | SURFACE FLOW DIRECTION                       |
|         | SWALE                                        |
|         | CONNECT DOWNSPOUT WITH 4" PVC PIPE           |
|         | DOWNSPOUT WITH PRECAST CONCRETE SPLASH BLOCK |
|         | DRAIN BOX                                    |
|         | TREE W/ SIZE                                 |
|         | EXISTING TREE TO BE REMOVED                  |

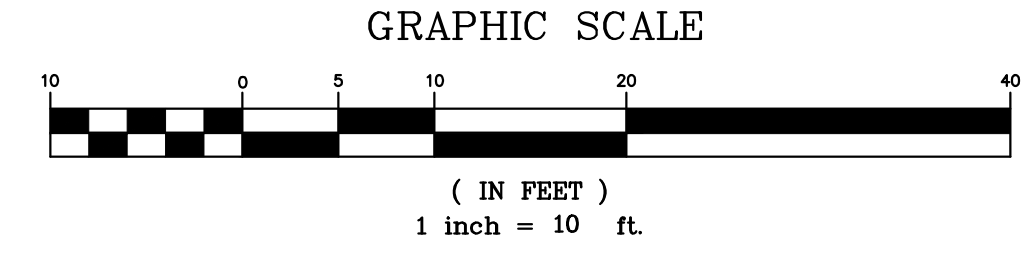
**GRADING QUANTITIES (C.Y.):**

	CUT	FILL
BASEMENT PAD	460	0
CRAWL SPACE PAD	70	0
GARAGE PAD	5	30
FRONT PATIO	0	30
SIDE YARD	80	0
REAR YARD	165	0
DRIVEWAY	120	35
TOTAL	900	95



**A** DRIVEWAY & PROFILE  
 HORZ. SCALE: 1"=10' VERT. SCALE: 1"=4'

SEE DRIVEWAY & PROFILE A-C2  
 TEMPORARY BENCHMARK SET 600 NAIL IN JP (ELEV. = 111.12 (NAVD88 DATUM))

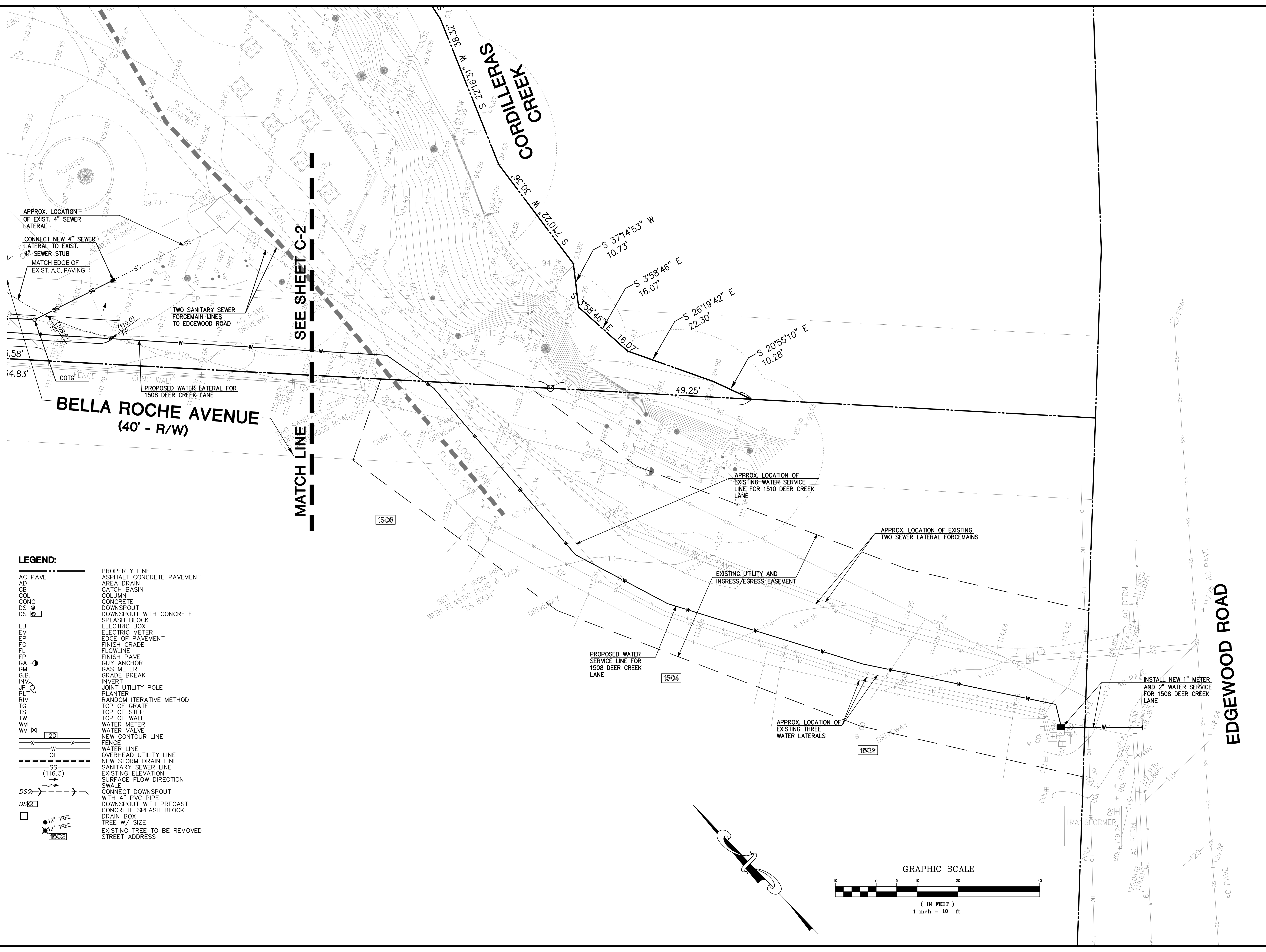


SEE SHEET C-3  
 MATCH LINE

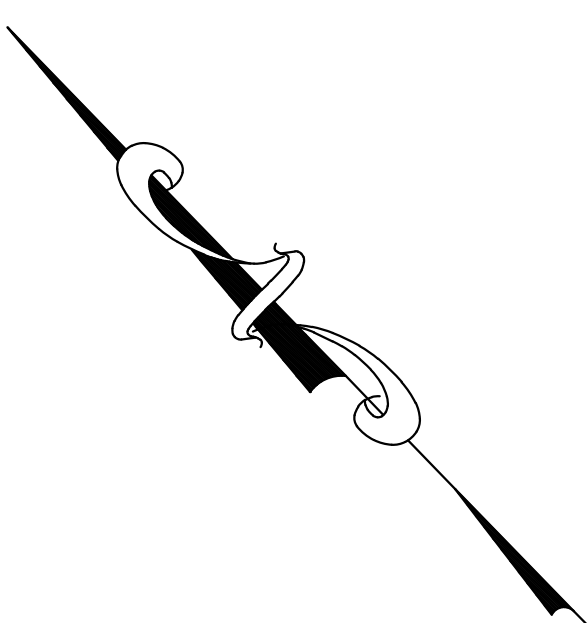
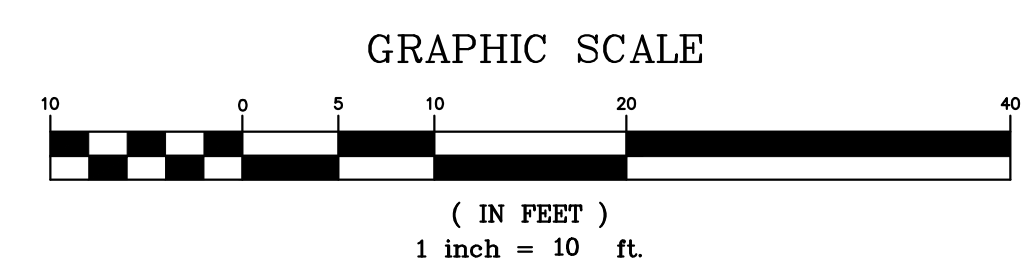
**BELLA ROCHE AVENUE**  
 (40' - R/W)

LOT 24  
 D MAPS 25





- LEGEND:**
- AC PAVE ASPHALT CONCRETE PAVEMENT
  - AD AREA DRAIN
  - CB CATCH BASIN
  - COL COLUMN
  - CONC CONCRETE
  - DS DOWNSPOUT WITH CONCRETE SPLASH BLOCK
  - EB ELECTRIC BOX
  - EM ELECTRIC METER
  - EP EDGE OF PAVEMENT
  - FL FINISH GRADE
  - FP FLOWLINE
  - GM GUY ANCHOR
  - GA GAS METER
  - G.B. GRADE BREAK
  - INV. INVERT
  - JP JOINT UTILITY POLE
  - PLT PLANTER
  - RIM RANDOM ITERATIVE METHOD
  - TS TOP OF GRATE
  - TS TOP OF STEP
  - TW TOP OF WALL
  - WM WATER METER
  - WV WATER VALVE
  - NEW CONTOUR LINE
  - FENCE
  - WATER LINE
  - OVERHEAD UTILITY LINE
  - NEW STORM DRAIN LINE
  - SANITARY SEWER LINE
  - EXISTING ELEVATION
  - SURFACE FLOW DIRECTION
  - SWALE
  - CONNECT DOWNSPOUT WITH 4" PVC PIPE
  - DOWNSPOUT WITH PRECAST CONCRETE SPLASH BLOCK
  - DRAIN BOX
  - TREE W/ SIZE
  - EXISTING TREE TO BE REMOVED
  - STREET ADDRESS



REV.	DESCRIPTION	BY:	DATE:
1	FOR WATER DEPT. COMMENTS	VPG	06/10/24



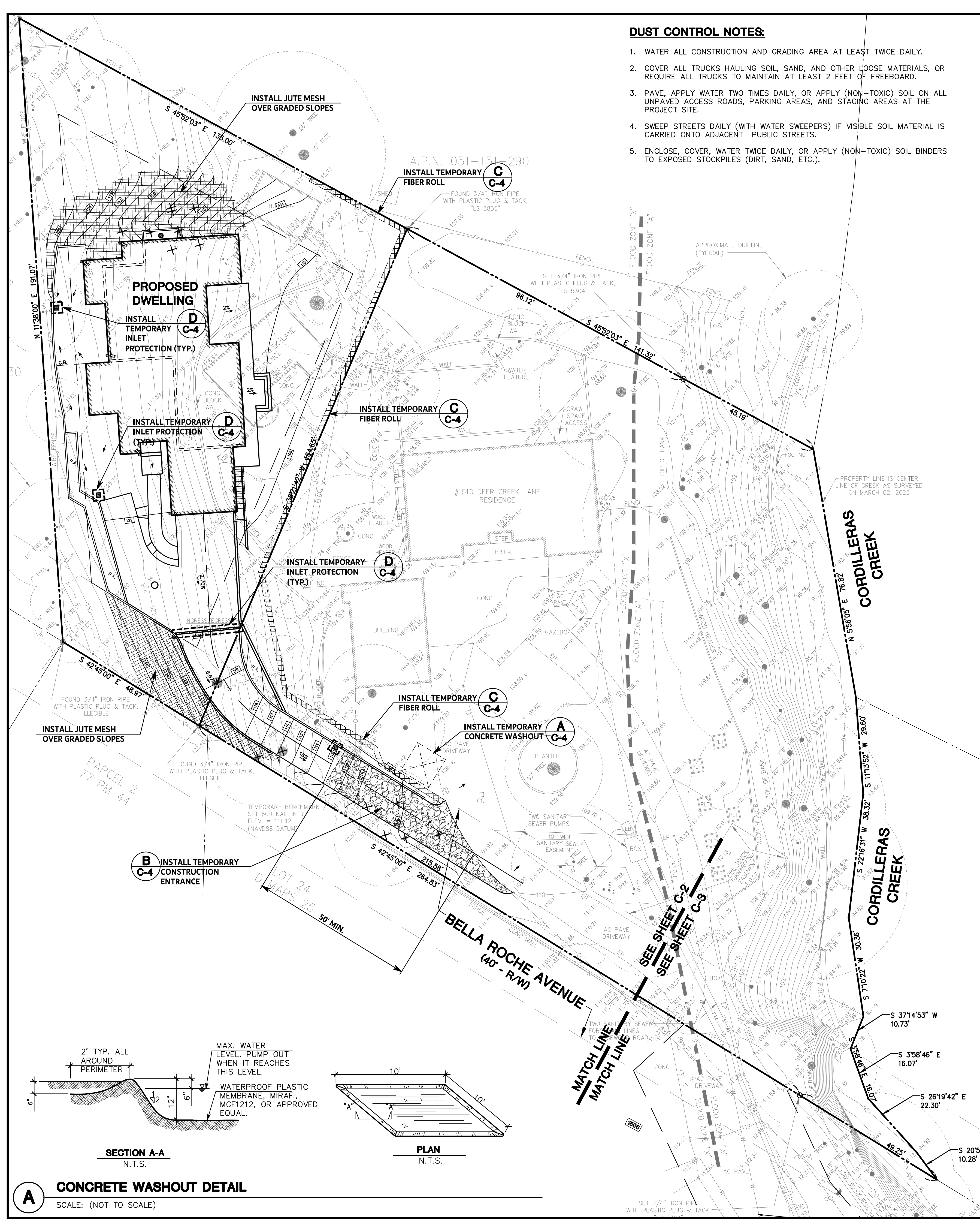
**MACLEOD AND ASSOCIATES**  
 CIVIL ENGINEERING • LAND SURVEYING  
 965 CENTER STREET • SAN CARLOS • CA 94070 • (650) 593-8580

PREPARED FOR:  
 RUSSELL GRONSKY

**PRELIMINARY GRADING, DRAINAGE AND UTILITY PLAN**  
 1508 DEER CREEK LANE  
 UNINCORPORATED SAN MATEO COUNTY CALIFORNIA

DRAWN BY: AAP  
 DESIGNED BY: VPG  
 CHECKED BY: DGM  
 SCALE: 1"=10'  
 DATE: 06/10/24  
 DRAWING NO. 5402-GRAD  
 SHEET





**DUST CONTROL NOTES:**

1. WATER ALL CONSTRUCTION AND GRADING AREA AT LEAST TWICE DAILY.
2. COVER ALL TRUCKS HAULING SOIL, SAND, AND OTHER LOOSE MATERIALS, OR REQUIRE ALL TRUCKS TO MAINTAIN AT LEAST 2 FEET OF FREEBOARD.
3. PAVE, APPLY WATER TWO TIMES DAILY, OR APPLY (NON-TOXIC) SOIL ON ALL UNPAVED ACCESS ROADS, PARKING AREAS, AND STAGING AREAS AT THE PROJECT SITE.
4. SWEEP STREETS DAILY (WITH WATER SWEEPERS) IF VISIBLE SOIL MATERIAL IS CARRIED ONTO ADJACENT PUBLIC STREETS.
5. ENCLOSE, COVER, WATER TWICE DAILY, OR APPLY (NON-TOXIC) SOIL BINDERS TO EXPOSED STOCKPILES (DIRT, SAND, ETC.).

**EROSION CONTROL NOTES:**

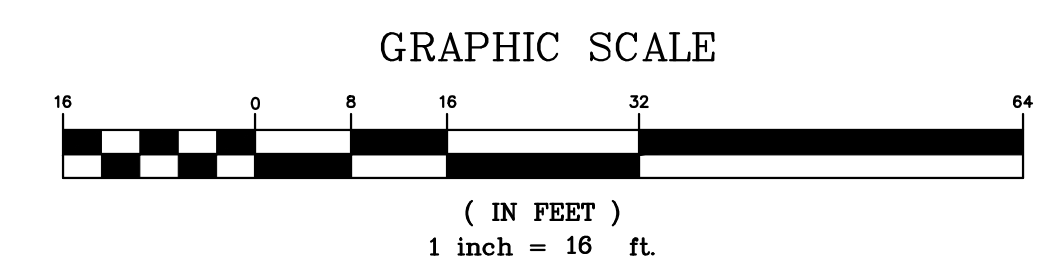
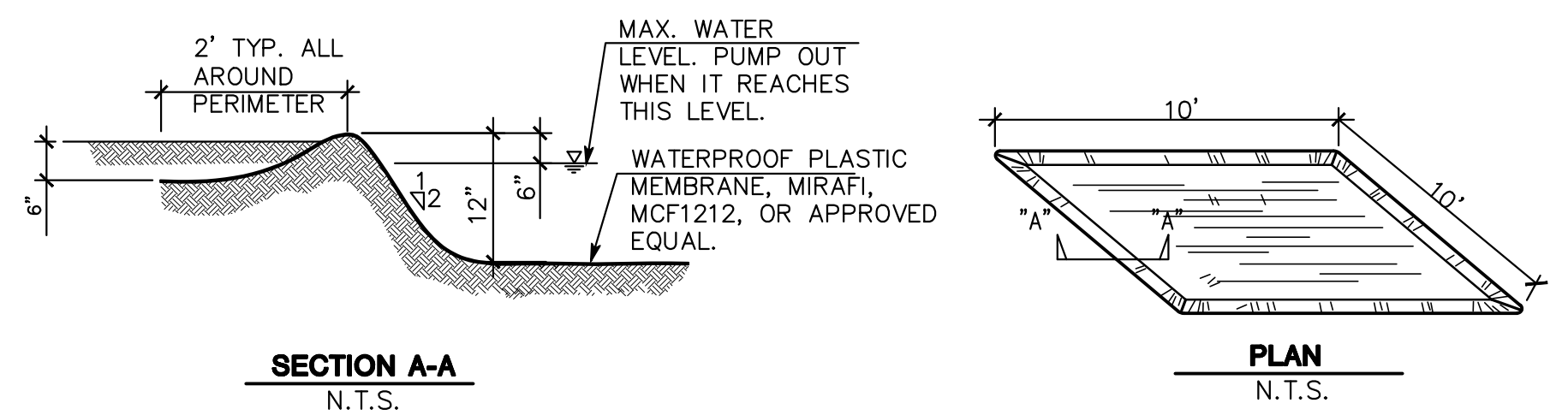
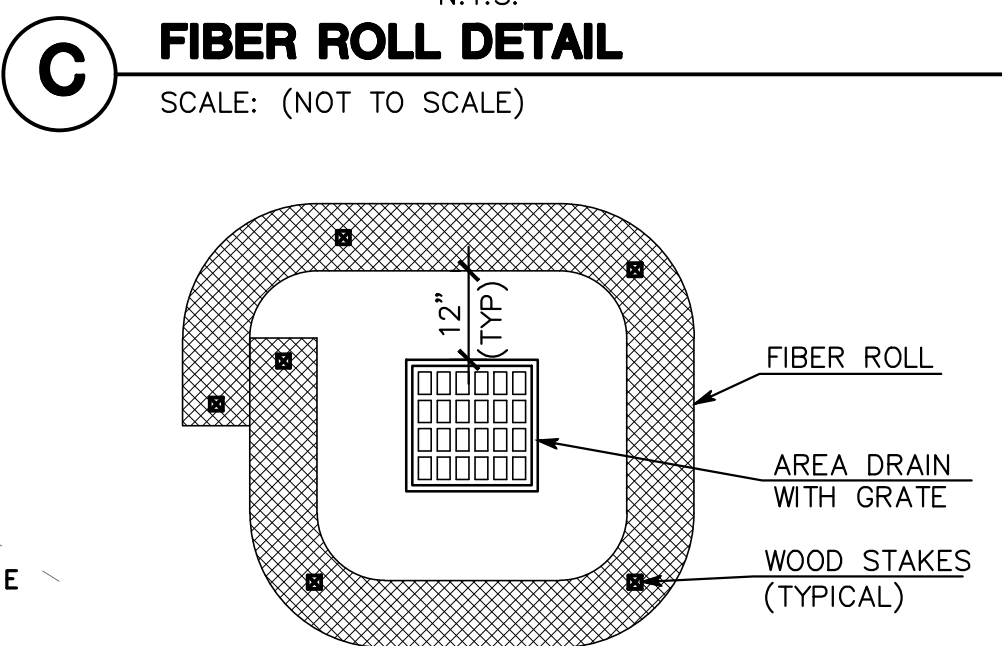
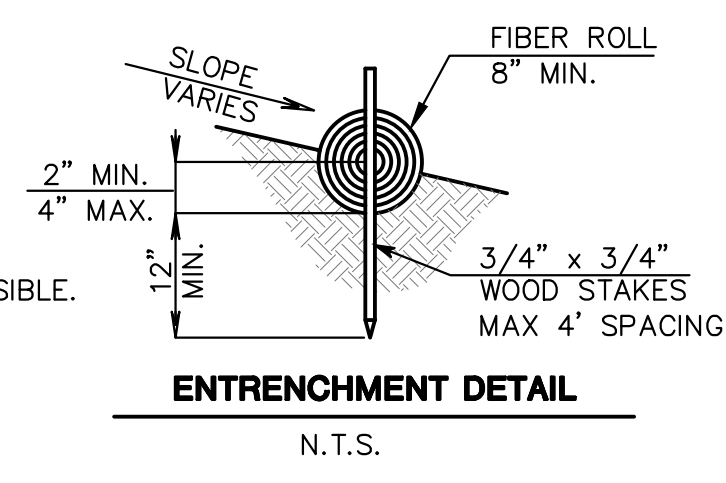
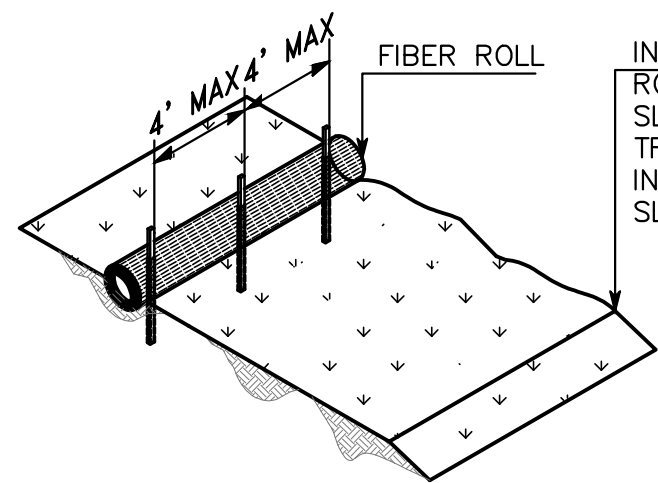
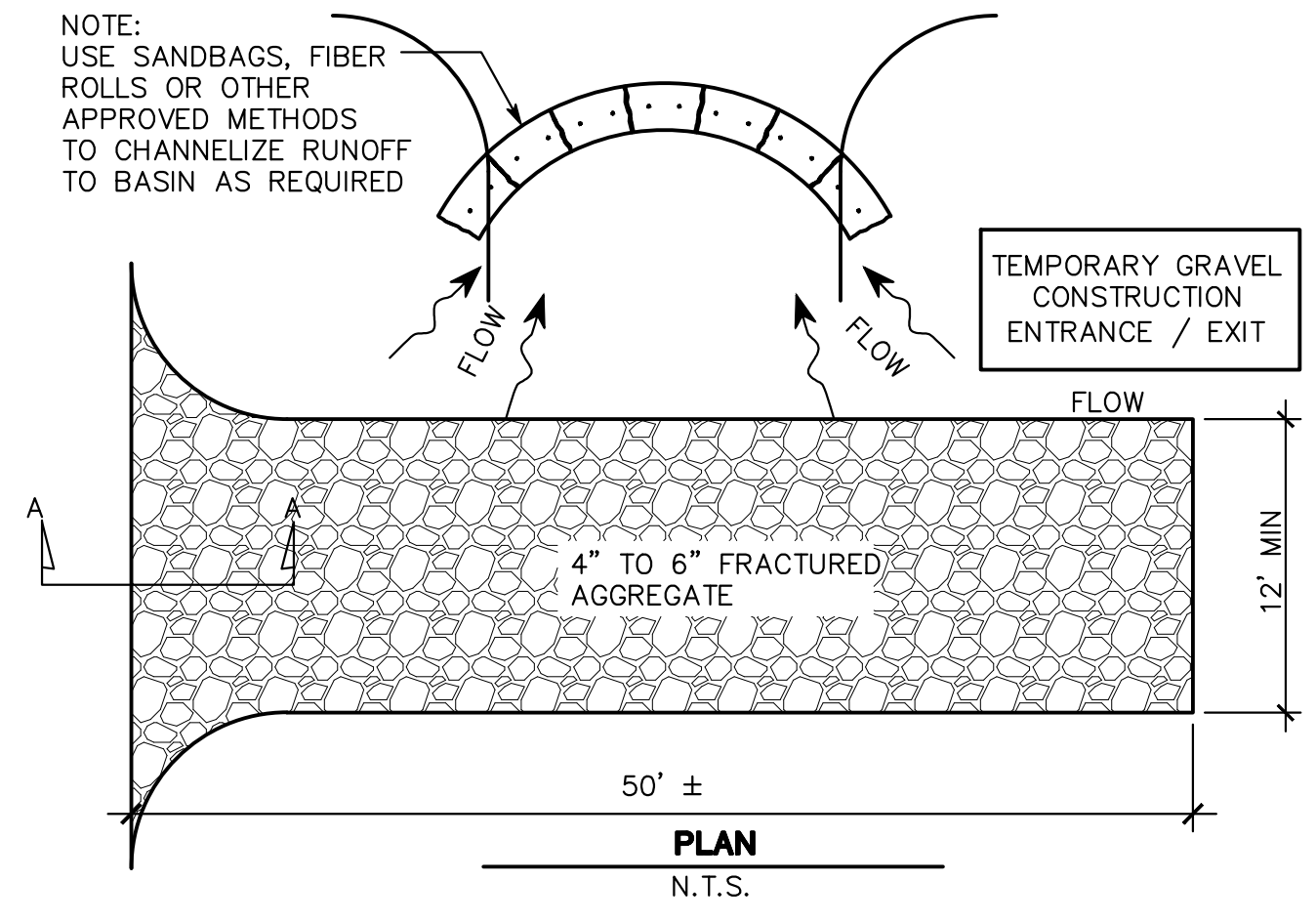
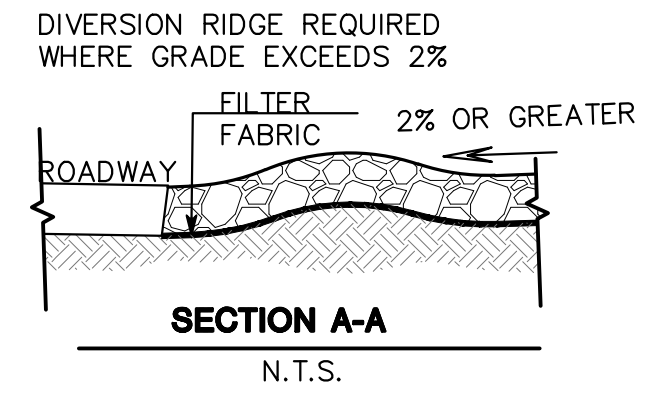
1. THE INTENT OF THE EROSION CONTROL PLAN IS TO MINIMIZE ANY WATER QUALITY IMPACTS IN THE FORM OF SEDIMENT POLLUTION TO MAIN CREEK & TRIBUTARIES.
2. A CONSTRUCTION ENTRANCE WILL BE INSTALLED PRIOR TO OF GRADING. LOCATION OF THE ENTRANCE MAY BE ADJUSTED BY THE CONTRACTOR TO FACILITATE GRADING OPERATIONS. ALL CONSTRUCTION TRAFFIC ENTERING THE PAVED ROAD MUST CROSS THE CONSTRUCTION ENTRANCE. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITION DEMAND, AND REPAIR OF ANY MEASURES USED TO TRAP SEDIMENTS.
3. WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT BASIN. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH, OR WATERCOURSE THROUGH THE USE OF SAND BAGS, GRAVEL, BOARDS OR OTHER APPROVED METHODS.
4. THE EROSION AND SEDIMENT CONTROL MEASURES WILL BE OPERABLE DURING THE RAINY SEASON, OCTOBER 1 TO APRIL 15 BY OCTOBER 1. GRADING AND INSTALLATION OF STORM DRAINAGE AND EROSION AND SEDIMENT CONTROL FACILITIES WILL BE COMPLETED. NO GRADING WILL OCCUR BETWEEN OCTOBER 1 AND APRIL 15 UNLESS AUTHORIZED BY THE COUNTY REPRESENTATIVE.
5. DURING THE RAINY SEASON, ALL PAVED AREAS WILL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE WILL BE MAINTAINED SO THAT A MINIMUM OF SEDIMENT-LADEN RUNOFF ENTERS THE STORM DRAINAGE SYSTEM.
6. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE EROSION AND SEDIMENT CONTROL FIELD MANUAL OF THE CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD.
7. AT THE CONTRACTOR'S DISCRETION SILT FENCES MAY BE INSTALLED INSTEAD OF FIBER ROLLS.

**SAN MATEO COUNTY STANDARD NOTES:**

1. EROSION CONTROL POINT OF CONTACT:  
OWNER: RUSSELL GRONSKY  
EMAIL: RGRONSKY@OUTLOOK.COM  
TEL: (831) 234-2274
2. PERFORM CLEARING AND EARTH-MOVING ACTIVITIES ONLY DURING DRY WEATHER. MEASURES TO ENSURE ADEQUATE EROSION AND SEDIMENT CONTROL SHALL BE INSTALLED PRIOR TO EARTH-MOVING ACTIVITIES AND CONSTRUCTION
3. STABILIZE ALL DENUEDED AREAS AND MAINTAIN EROSION CONTROL MEASURES CONTINUOUSLY BETWEEN OCTOBER 1 AND APRIL 30.
4. STORE, HANDLE, AND DISPOSE OF CONSTRUCTION MATERIALS AND WASTES PROPERLY, SO AS TO PREVENT THEIR CONTACT WITH STORMWATER.
5. CONTROL AND PREVENT THE DISCHARGE OF ALL POTENTIAL POLLUTANTS, INCLUDING PAVEMENT CUTTING WASTES, PAINTS, CONCRETE, PETROLEUM PRODUCTS, CHEMICAL, WASH WATER OR SEDIMENTS AND NON-STORMWATER DISCHARGES TO STORM DRAINS AND WATERCOURSES.
6. AVOID CLEANING, FUELING, OR MAINTAINING VEHICLES ON-SITE, EXCEPT IN A DESIGNATED AREA WHERE WASH WATER IS CONTAINED AND TREATED.
7. LIMIT AND TIME APPLICATIONS OF PESTICIDES AND FERTILIZERS TO PREVENT POLLUTED RUNOFF.
8. LIMIT CONSTRUCTION ACCESS ROUTES TO STABILIZED, DESIGNATED ACCESS POINTS.
9. AVOID TRACKING DIRT OR OTHER MATERIALS OFF-SITE; CLEAN OFF-SITE PAVED AREAS AND SIDEWALKS USING DRY SWEEPING METHODS.
10. TRAIN AND PROVIDE INSTRUCTION TO ALL EMPLOYEES AND SUBCONTRACTORS REGARDING THE WATERSHED PROTECTION MAINTENANCE STANDARDS AND CONSTRUCTION BEST MANAGEMENT PRACTICES.
11. THE AREAS DELINEATED ON THE PLANS FOR PARKING, GRUBBING, STORAGE ETC., SHALL NOT BE ENLARGED OR "RUN OVER".
12. CONSTRUCTION SITES ARE REQUIRED TO HAVE EROSION CONTROL MATERIALS ON-SITE DURING THE "OFF-SEASON".
13. DUST CONTROL IS REQUIRED YEAR-ROUND.
14. EROSION CONTROL MATERIALS SHALL BE STORED ON-SITE.
15. USE OF PLASTIC SHEETING BETWEEN OCTOBER 1st. AND APRIL 30th IS NOT ACCEPTABLE, UNLESS FOR USE ON STOCKPILES WHERE THE STOCKPILE IS ALSO PROTECTED WITH FIBER ROLLS CONTAINING THE BASE OF THE STOCKPILE.
16. THE TREE PROTECTION SHALL BE IN PLACE BEFORE ANY GRADING, EXCAVATING OR GRUBBING IS STARTED.

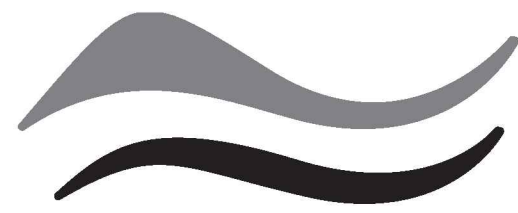
**DESIGN AND CONSTRUCTION SPECIFICATIONS FOR CONSTRUCTION ENTRANCE:**

1. THE MATERIAL FOR CONSTRUCTION OF THE PAD SHALL BE 3 TO 6 INCH ROCK.
2. THE THICKNESS OF THE PAD SHALL NOT BE LESS THAN 12 INCHES.
3. THE WIDTH OF THE PAD SHALL NOT BE LESS THAN THE FULL WIDTH OF ALL POINTS OF INGRESS AND EGRESS.
4. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEANUP OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY SHALL BE REMOVED IMMEDIATELY.
5. WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH, OR WATERCOURSE THROUGH USE OF SAND BAGS, GRAVEL, BOARDS, OR OTHER APPROVED METHODS.
6. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.



DATE:	
BY:	
DESCRIPTION:	
REV:	
<b>MACLEOD AND ASSOCIATES</b> CIVIL ENGINEERING • LAND SURVEYING 965 CENTER STREET • SAN CARLOS • CA 94070 • (650) 593-8680	
PREPARED FOR:	RUSSELL GRONSKY
EROSION & SEDIMENTATION CONTROL PLAN	CALIFORNIA
	1508 DEER CREEK LANE
	SAN MATEO COUNTY
DRAWN BY:	AAP
DESIGNED BY:	VPG
CHECKED BY:	DGM
SCALE:	1"=16'
DATE:	12/15/23
DRAWING NO.	5402-EROS
SHEET	<b>C-4</b>
	4 OF 5



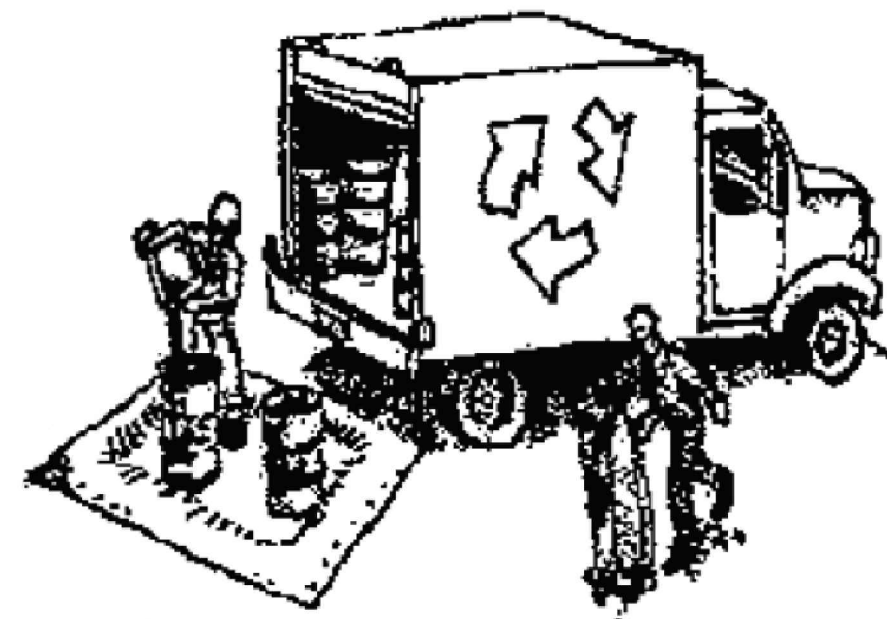


SAN MATEO COUNTYWIDE  
**Water Pollution  
 Prevention Program**  
 Clean Water. Healthy Community.

# Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

## Materials & Waste Management



### Non-Hazardous Materials

- Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- Use (but don't overuse) reclaimed water for dust control.

### Hazardous Materials

- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- Arrange for appropriate disposal of all hazardous wastes.

### Waste Management

- Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

### Construction Entrances and Perimeter

- Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

## Equipment Management & Spill Control



### Maintenance and Parking

- Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.

### Spill Prevention and Control

- Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- Clean up spills or leaks immediately and dispose of cleanup materials properly.
- Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

## Earthmoving



- Schedule grading and excavation work during dry weather.
- Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel bags, berms, etc.
- Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

### Contaminated Soils

- If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
  - Unusual soil conditions, discoloration, or odor.
  - Abandoned underground tanks.
  - Abandoned wells
  - Buried barrels, debris, or trash.

## Paving/Asphalt Work

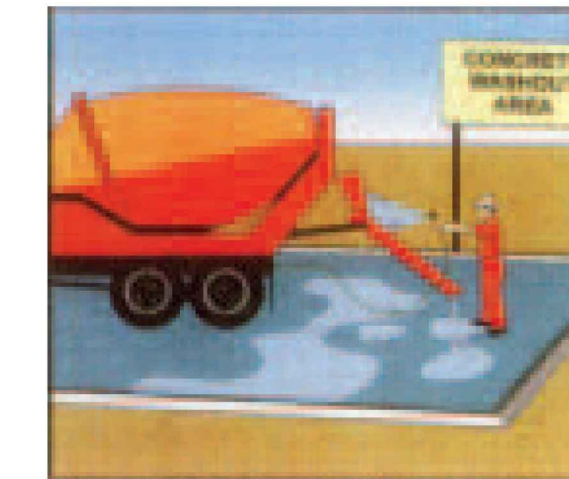


- Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- Do not use water to wash down fresh asphalt concrete pavement.

### Sawcutting & Asphalt/Concrete Removal

- Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- If sawcut slurry enters a catch basin, clean it up immediately.

## Concrete, Grout & Mortar Application



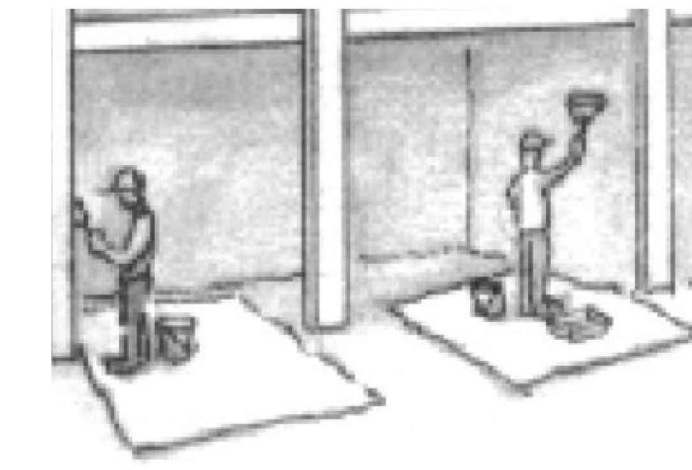
- Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

## Landscaping



- Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- Stack bagged material on pallets and under cover.
- Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

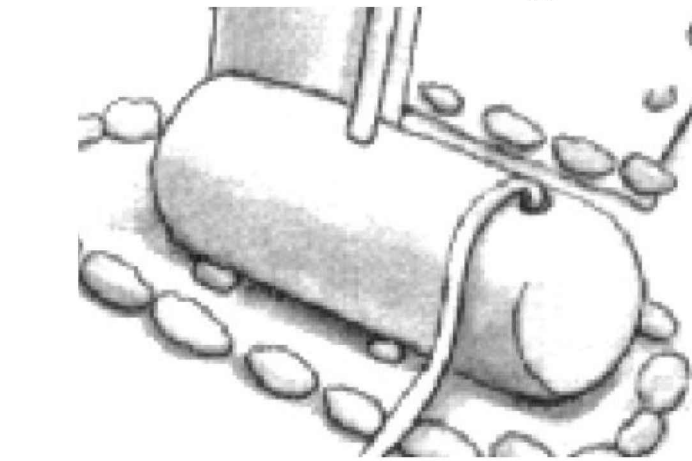
## Painting & Paint Removal



### Painting Cleanup and Removal

- Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

## Dewatering



- Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- Divert run-on water from offsite away from all disturbed areas.
- When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

**Storm drain polluters may be liable for fines of up to \$10,000 per day!**

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PREPARED FOR:	RUSSELL GRONSKY
<b>CONSTRUCTION BEST MANAGEMENT PRACTICES PLAN</b>	CALIFORNIA
1508 DEER CREEK LANE	SAN MATEO COUNTY
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